

# 53 COLONY STREET ROOFING, MASONRY and CORNICE REPAIRS

FOR

## GALLERY 53

53 COLONY STREET  
MERIDEN, CT 06451

REPRESENTED IN THIS CONTRACT BY

# THE CITY OF MERIDEN

142 MAIN STREET  
MERIDEN, CT 06450

City of Meriden Bid # B023-18

BID DOCUMENTS

OCTOBER 12, 2022

### PROJECT CONSULTANTS

Project Architect:



**DECARLO  
& DOLL, INC.**

Decarlo & Doll, Inc.  
89 Colony Street  
Meriden, CT 06451

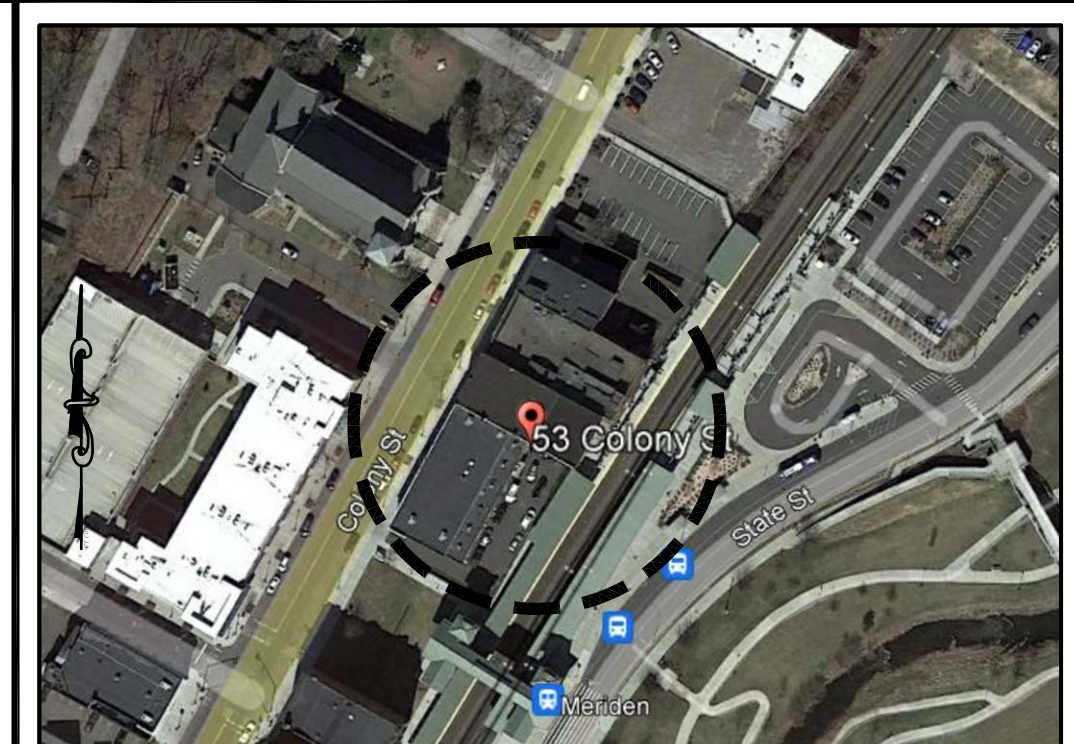
Roofing Engineer:

BPD Roofing Consulting Inc.  
121 Hartford Avenue  
East Granby, CT 06026

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PROJECT SITE LOCATION  
NO SCALE

**ABBREVIATIONS**

@	AT	O.C.	ON CENTER
&	AND	O.D.	OUTSIDE DIAMETER
ACOUST.	ACOUSTICAL	OP.	OPPOSITE
ACT.	ACOUSTICAL CEILING TILE	P.T.	PRESSURE-TREATED
ADD.	ADDITION	O.	PAINT
ADJ.	ADJUSTABLE	PL.	PLATE (STRUCT. DWGS.)
ADMIN.	ADMINISTRATION	PLY.	PLYWOOD
A.F.F.	ABOVE FINISHED FLOOR	PT.	PAINTED
AL., ALUM.	ALUMINUM	RAD.	RADIUS
ALLOW.	ALLOWABLE	R.D.	ROOF DRAIN
APPROX.	APPROXIMATELY	RECEPT.	RECEPTACLE
B.E.M.S.	BLDG. ENERGY MANAGEMENT SYSTEM	REQ., REQD	REQUIRED
BIT.	BITUMINOUS	RES.	RESILIENT / RESINOUS
BTW.	BETWEEN	R.M.	ROOM
BLDG.	BUILDING	R.O.	ROUGH OPENING
BLK.	BLOCKING	S.A.F.B.	SOUND ATTEN. FIBERGLASS BATT
B.O.	BOTTOM OF	SHEATH.	SHEATHING
BM.	BEAM	SIM.	SIMILAR
BR.	BRICK	SO.	SQUARE
B.W.	BOTTOM OF WALL	ST., STL.	STEEL
BW.	BLOCKING	STOR.	STORAGE
CB, CHKBD.	CHALKBOARD	STRUCT.	STRUCTURAL
C.T.	CERAMIC TILE	T.	TREAD
C.J.	CONTROL JOINT	T&B	TOP AND BOTTOM
C.L.	CENTER LINE	TCKB.	TACKBOARD
CL.	CEILING	T.O.	TOP OF
CLOS.	CLOSET	T.O.W.	TOP OF WALL
C.M.U.	CONCRETE MASONRY UNIT	T.O.STL.	TOP OF STEEL
COL.	COLUMN / COLOR	TYP.	TYPICAL
COMP.	COMPOSITE	U.L.	UNDERWRITERS
CONC.	CONCRETE	U.N.O. / U.O.N	LABORATORY UNLESS NOTED OTHERWISE
CONF.	CONFERENCE	VCT.	VINYL COMPOSITION TILE
CONT.	CONTINUOUS	VERT.	VERTICAL
CORR.	CORRIDOR	VEST.	VESTIBULE
DEG.	DEGREES	V.I.F.	VERIFY IN FIELD
DISP.	DISPENSER	WI.	WITH
DN.	DOWN	WD.	WOOD
DTL.	DETAIL	WO	WITH OUT
D.S.	DOWN SPOUT	W.P.	WORKING POINT
DWG.	DRAWING	W.W.F.	WELDED WIRE FABRIC
EA.	EACH	W.P.R.F.G.	WATERPROOF
EF.	EXHAUST FAN		
E.J.	EXPANSION JOINT		
EL., ELEV.	ELEVATION		
ELEC.	ELECTRICAL		
ELECTRO-MAG	ELECTRO-MAGNET		
EQUIP.	EQUIPMENT		
ELEC.	ELECTRICAL		
EX., EXIST.	EXISTING		
EXP.	EXPANSION		
EXP'D.	EXPOSED		
F.	FEMALE		
F.E.	FIRE EXTINGUISHER		
FDN., FOUND	FOUNDATION		
FL.	FLOOR		
FLR'G.	FLOORING		
FRM.	FRAME/FRAMING		
GA.	GAUGE		
GALV.	GALVANIZED		
GFCI., GFI.	GROUND FAULT CURRENT INTERRUPTER		
GWB.	GYPSUM WALLBOARD		
HORIZ.	HORIZONTAL		
HM.	HOLLOW METAL		
HR.	HOUR		
I.J.	ISOLATION JOINT		
INFO.	INFORMATION		
JAN.	JANITOR		
JT.	JOINT		
LTL.	LINTEL		
M.	MEN, MALE		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MIN.	MINIMUM		
MTL.	METAL		
NO.	NUMBER		
N.T.S.	NOT TO SCALE		

NOTE: ABBREVIATIONS, NOTES & LEGENDS FOR MECHANICAL, ELECTRICAL AND OTHER ENGINEERING DISCIPLINES CAN BE FOUND ON THEIR RESPECTIVE DRAWINGS.

**SYMBOLS**

**LEGEND**

	ALCOVE	ROOM NAME
	DOOR NUMBER	ROOM NUMBER
	WINDOW OR LOUVER TYPE	
	DETAIL ON SAME PAGE	
	DETAIL NUMBER	PAGE NUMBER
	BUILDING SECTION	
	WALL SECTION	
	BUILDING ELEVATION	
	INTERIOR ELEVATIONS	
	LEVEL / ALIGN	
	BUILDING ELEVATION DATUM (w/ N.A.V.D. if noted)	
	SITE ELEV. DATUM N.A.V.D.	
	WALL TYPE	
	FIRE EXTINGUISHER	
	KEYNOTE	
	COLOR DESIGNATION	
	GLAZING TYPE	
	TOILET ACCESSORY	
	REVISION	
	COLUMN LINE NUMBER	
	BREAK LINE	
	ENLARGED DETAIL	

**CODE SYMBOLS**

**LEGEND**

	OCCUPANT EGRESS LOAD
	ELEMENT EGRESS CAPACITY
	ELEMENT

**MATERIALS LEGEND**

	CONCRETE
	CONCRETE MASONRY UNITS
	BRICK
	METALS
	COMPACTED GRAVEL
	UNDISTURBED SOIL
	PLYWOOD
	ACOUSTICAL TILE
	WOOD FRAMING
	FINISHED WOOD
	BATT INSULATION
	ACOUSTICAL INSULATION
	RIGID INSULATION
	GYPSUM WALL BOARD

**GENERAL NOTES**

- THIS PROJECT COMPRISES ALTERATIONS AND RENOVATIONS TO THE EXISTING BUILDING. THE EXISTING BUILDING IS CURRENTLY OCCUPIED AND THE PROJECT WILL PROCEED IN A MANNER WHICH WILL MINIMIZE ANY INCONVENIENCE TO THE BUILDING OCCUPANTS.
- PRIOR TO SUBMITTING BID, VISIT SITE AND IDENTIFY EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT WORK TO BE PERFORMED. NO COMPENSATION WILL BE GRANTED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY IDENTIFIED BY EXPERIENCED OBSERVERS, INCLUDE IN THE BID ALL REMOVAL WORK REQUIRED.
- SCOPE OF WORK CONSISTS OF INSTALLATION OF MATERIALS TO BE FURNISHED UNDER THE CONTRACT DOCUMENTS AND WITHOUT LIMITING GENERALITY THEREOF CONSISTS OF FURNISHING, LABOR, MATERIALS, EQUIPMENT, HOISTING, PLANT, TRANSPORTATION, RECORDS, STORAGE, APPURTENANCES, AND SERVICES NECESSARY AND/OR INCIDENTAL TO PROPERLY COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS AS DESCRIBED HEREIN. THE FOLLOWING DEFINITIONS APPLY TO THIS CONTRACT.
  1. FURNISH: THE TERM "FURNISH" IS USED TO MEAN "SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS."
  2. INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL "UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS."
  3. PROVIDE: THE TERM "PROVIDE" MEANS "TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE."
  4. REMOVE: THE TERM "REMOVE" MEANS "TO DISCONNECT FROM ITS PRESENT POSITION, REMOVE FROM THE PREMISES AND TO DISPOSE OF IN A LEGAL MANNER."
- PROVIDE ALL NECESSARY MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK OUTLINED ON THESE CONTRACT DOCUMENTS. THE CONTRACTOR IS TO NOTE THAT THESE DOCUMENTS ARE INFORMATIVE ONLY AND THAT FINAL PLACEMENT OF ELEMENTS OF THE WORK IN THE FIELD MAY NOT DIRECTLY CORRESPOND TO THAT IN WHICH IS SHOWN ON THE DRAWINGS. IF A CONFLICT IN POSITIONING OCCURS, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY TO ASCERTAIN WHAT WAS THE DESIGN INTENT.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT CONNECTICUT STATE BUILDING CODE, CONNECTICUT STATE FIRE CODE, THE CONNECTICUT PUBLIC HEALTH CODE, OSHA AND THE CONNECTICUT GENERAL STATUTES.
- INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS.
- OBTAIN IN OWNER'S NAME WRITTEN EQUIPMENT AND MATERIAL WARRANTIES OFFERED IN MANUFACTURER'S PUBLISHED PRODUCT DATA WITHOUT EXCLUSION OR LIMITATION.
- GUARANTEE WORK DESCRIBED IN THESE CONTRACT DOCUMENTS IN WRITING FOR NOT LESS THAN ONE YEAR FROM DATE OF FINAL NOTICE OF ACCEPTANCE, REPAIR OR REPLACE DEFECTIVE MATERIALS, EQUIPMENT, WORKMANSHIP AND INSTALLATION THAT DEVELOP WITHIN THIS PERIOD, PROMPTLY AND TO OWNER'S SATISFACTION AND CORRECT DAMAGE CAUSED BY MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER GUARANTEE WITHIN CONTRACT PRICE.
- SUPPLY TO THE OWNER AN OFFICIAL CERTIFICATE OF INSURANCE FOR THEIR RECORDS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING AND BEING AVAILABLE FOR INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION.
- USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
- DO NOT SCALE DRAWINGS. SCALE INDICATED ON DRAWINGS IS FOR ESTABLISHING REFERENCE POINTS ONLY. USE ONLY INDICATED DIMENSIONS. ACTUAL FIELD CONDITIONS SHALL GOVERN ALL DIMENSIONS; ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND INDICATED DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- DIMENSIONS ARE INDICATED TO THE FACE OF STUDS OR MASONRY IN NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL DEBRIS SHALL BE REMOVED FROM THE BUILDING ON A DAILY BASIS AND DISPOSED OF. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE SOLUBLE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE AND DISPOSE OF ALL WASTE MATERIALS, PACKAGING MATERIAL, SHEDS ETC. FROM THE SITE AND DISPOSE OF IN A LAWFUL MANNER IN ACCORDANCE WITH MUNICIPAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE REQUIRED TO PROPERLY STORE MATERIALS AND EQUIPMENT SO AS TO AVOID THEFT OR VANDALISM. IF THEFT OR VANDALISM OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH ITEMS AT THE DIRECTION OF THE ARCHITECT.
- COORDINATE WORK OF ALL TRADES AND ARRANGE INSTALLATION TO AVOID CLASHES BETWEEN EQUIPMENT, WORK OF ALL TRADES AND BUILDING STRUCTURE.
- PROVIDE FIRESTOPPING AROUND ALL PENETRATIONS IN RATED PARTITIONS. PROVIDE ASBESTOS FREE FIRESTOPPING SYSTEM CAPABLE OF MAINTAINING AN

- EFFECTIVE BARRIER AGAINST FLAME AND GASES. SYSTEM SHALL BE U.L. LISTED AND COMPLY WITH ASTM E814.
- PROVIDE BLOCKING IN WALLS AND/OR ABOVE CEILING FOR KEYS SIMILAR TO, BUT NOT LIMITED TO THE FOLLOWING: HANDRAILS, TOILET ACCESSORIES AND ORB BARS, TACK BOARDS, FABRIC WRAPPED PANELS, ACOUSTICAL PANELS, SHADES, SMART BOARDS, PROJECTORS, PROJECTION SCREENS AND SCIENCE EQUIPMENT, ETC.
- PROVIDE BLOCKING FOR ALL N.E.C. EQUIPMENT WHERE REQUIRED TO PERMIT THE PASSAGE OF PIPES, CONDUITS, DUCTS, ETC. AND COORDINATE SAME WITH WORK SHOWN ON MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- CAREFULLY INSPECT ALL BUILDING ELEMENTS PRIOR TO CUTTING OR DRILLING INTO WALLS, FLOORS OR CEILINGS. PATCH AND PAINT SURFACES DISTURBED BY WORK UNDER THIS CONTRACT AS REQUIRED TO RESTORE THEM TO THEIR ORIGINAL CONDITION.
- LOCATE ALL LIGHTS, DIFFUSERS, SPRINKLERS AND OTHER CEILING APPLIANCES ON CENTERLINES OF SPACES OR LINES UNLESS OTHERWISE NOTED. CONFIRM ALL LOCATIONS w/ ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE TEMPORARY HEAT DURING THE CONSTRUCTION PERIOD AS REQUIRED TO MAINTAIN THE BUILDING TEMPERATURE AT 50 DEGREES F. PROVIDE TEMPORARY VENTILATION AS REQUIRED TO MAINTAIN TOLERABLE WORKING CONDITIONS IN RESPECT TO FRESH AIR, TEMPERATURE AND FILTRATION.
- THE CONTRACTOR SHALL COORDINATE ALL INTERRUPTIONS OF SERVICE AND LIMITATIONS OF ACCESS WITH THE OWNER NO LESS THAN FIVE DAYS PRIOR TO SUCH INTERRUPTIONS OR LIMITATIONS.

**CODE INFORMATION**

**THE INTERNATIONAL EXISTING BUILDING CODE**

<b>CHAPTER 3:</b>	<b>COMPLIANCE METHODS</b>
301.1.2	Work area compliance method is used for this project
<b>CHAPTER 5:</b>	<b>CLASSIFICATION OF WORK</b>
502.1	Exterior wall work is classified as Repairs, patching or replacement of damaged materials.
503.1	Roof work is classified as Level 1, removal and replacement of existing materials (etc.)
502.2	Roof work will conform to Chapter 7 requirements for Level 1

<b>CHAPTER 7</b>	<b>ALTERATIONS - LEVEL 1</b>
706.1	Reroofing will comply with IBC Chapter 15.
706.2	Existing structure is capable of supporting proposed reroofing.
706.3	Existing roofing will be removed before reroofing
706.6	New flashings will comply with manufactures or industry recommendations.

**CURRENTLY APPLICABLE CODES**

- 2022 CONNECTICUT STATE BUILDING CODE**
- 2021 International Building Code\*
  - 2021 International Existing Building Code\*
  - 2021 International Energy Conservation Code\*
  - 2021 International Mechanical Code\*
  - 2021 International Plumbing Code\*
  - 2020 National Electrical Code (NFPA 70)\*
  - 2017 Accessible and Usable Buildings and Facilities (ICC A117.1 2017)

**2022 CONNECTICUT STATE FIRE PREVENTION CODE**

- 2021 NFPA 1 Fire Code\*

**2022 CONNECTICUT STATE FIRE SAFETY CODE**

- 2021 International Fire Code\*

\* With Connecticut Amendments and General Statute requirements

**CODE COMPLIANCE INFORMATION**

Date of Original Construction	ca 1908	
<b>1. USE AND OCCUPANCY CLASSIFICATION (CHAPTER 3)</b>		
Primary	M	Mercantile
Secondary	B	Business
<b>2. CONSTRUCTION TYPE</b>		
Actual (Existing)	III B	(brick bearing exterior and demising walls with wood framed floors)
New Construction	NONE	
<b>3. WORK AREA</b>	No Change of Use	
<b>4. FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601)</b>		
Primary Structural Frame	1 Hr	
Bearing Walls		
Exterior	2 Hr	
Interior	2 Hr	
Non-Bearing Walls and Partitions		
Exterior	-	
Interior	0 Hr	
Floor Construction	0 Hr	
Roof Construction	0 Hr	
Special Fire Separation Requirements	NO NEW WORK	
<b>5. OCCUPANCY LOAD</b>		
Work Area - Existing Occupancy Load	NO CHANGE	
<b>6. MODIFICATIONS</b>	NONE	
<b>7. ACCESSIBLE BUILDING</b>	PARTIAL / NO CHANGE	
<b>8. MINIMUM PLUMBING COUNT</b>	NO CHANGE	
<b>9. SPRINKLER PROTECTION (Existing)</b>	NO	

**DD**  
**DECARLO & DOLL, INC.**  
 89 Colony Street  
 Meriden, CT 06451  
 Architects Engineers Surveyors  
 Planners Construction Managers  
 Telephone (203) 379-0467  
 Fax (203) 379-0278

**ROOFING, MASONRY AND CORNICE REPAIRS GALLERY 53**

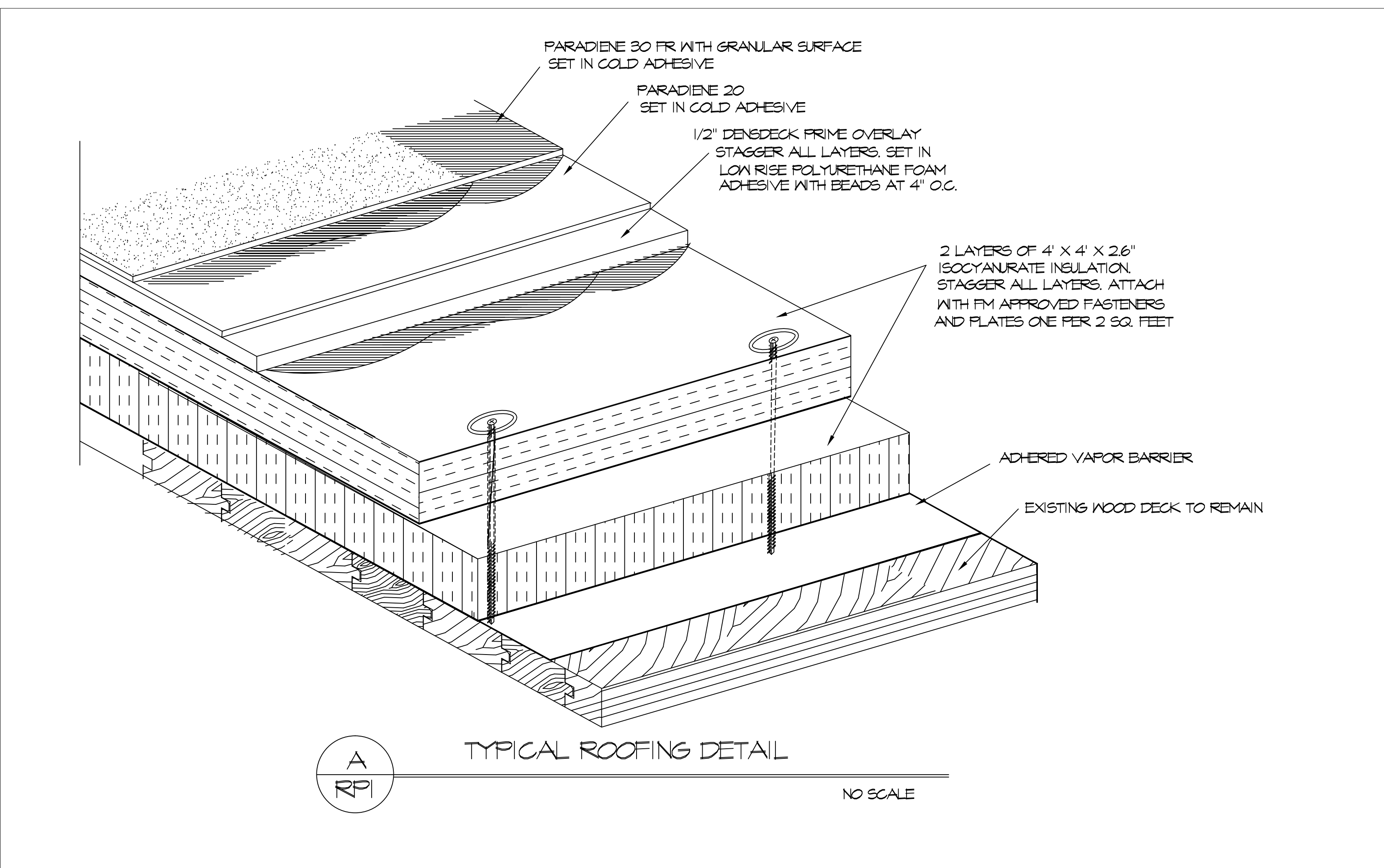
53 Colony Street  
 Meriden, CT 06451

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 CADD NO.:  
 FILE NO.:

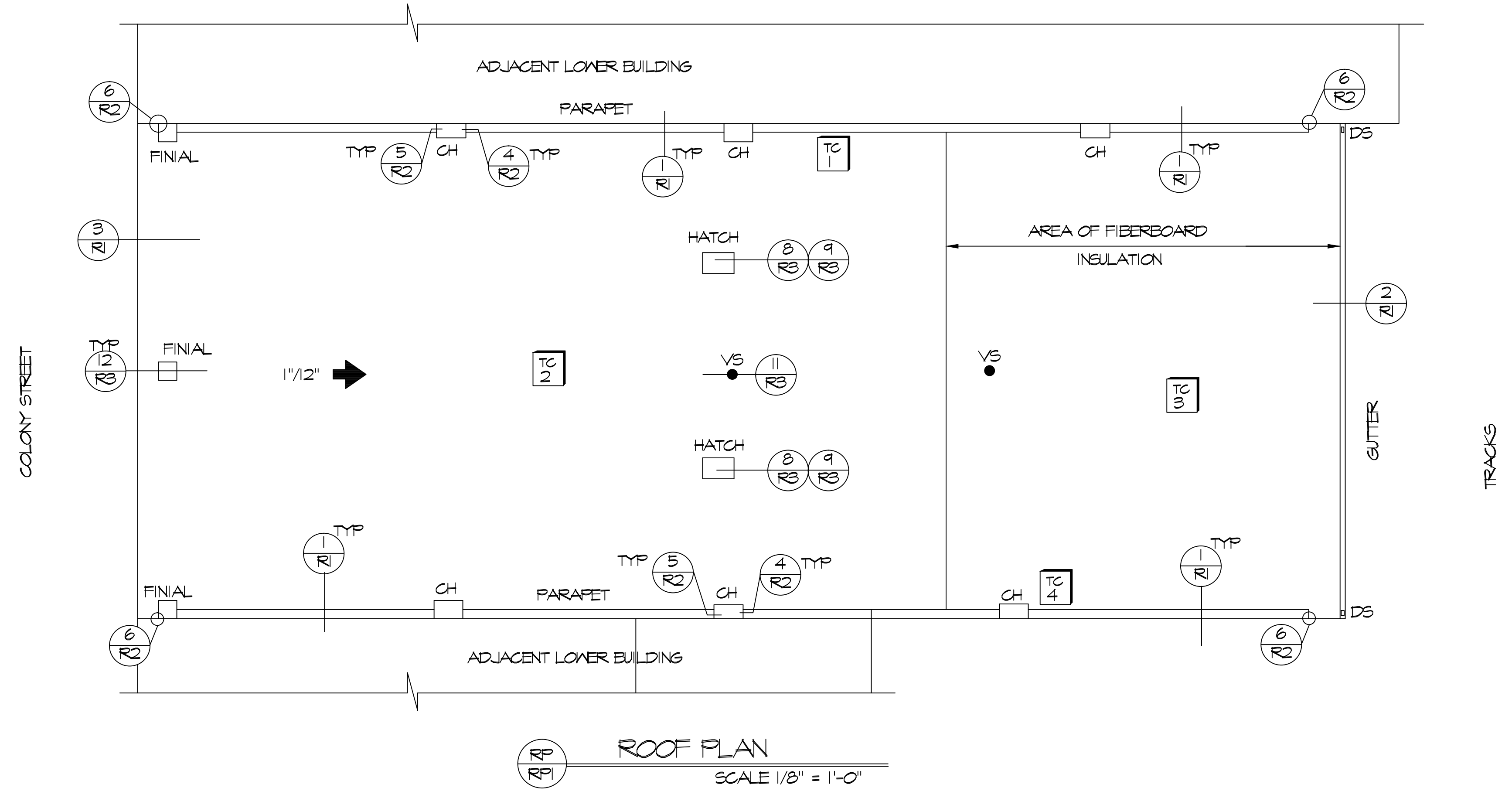
**GENERAL NOTES**

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 DRAWING NO.: A050  
 DATE: October 12, 2022

**B ROOF CONSULTING INC.**  
 121 Hartford Avenue  
 EAST GRANBY, CT 06026  
 PHONE: 860-433-2779  
 FAX: 860-433-2788



KEY			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
DS	DOWNSPOUT	RH	ROOF HATCH
VS	VENT STACK	CH	CHIMNEY
→	DIRECTION OF DOWNWARD PITCH		
1	TEST CUT LOCATION AND NUMBER		



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**ROOFING,  
 MASONRY AND  
 CORNICE  
 REPAIRS**  
**GALLERY 53**

53 Colony Street  
 Meriden, CT 06451

**JOB NO.:** 51961.10  
**CADD NO.:**  
**FILE NO.:**

**SCALE:** AS NOTED  
**DATE:** 9-30-2022  
**DRAWING NO.:** RPI

DESIGNED BY:

DRAWN BY:

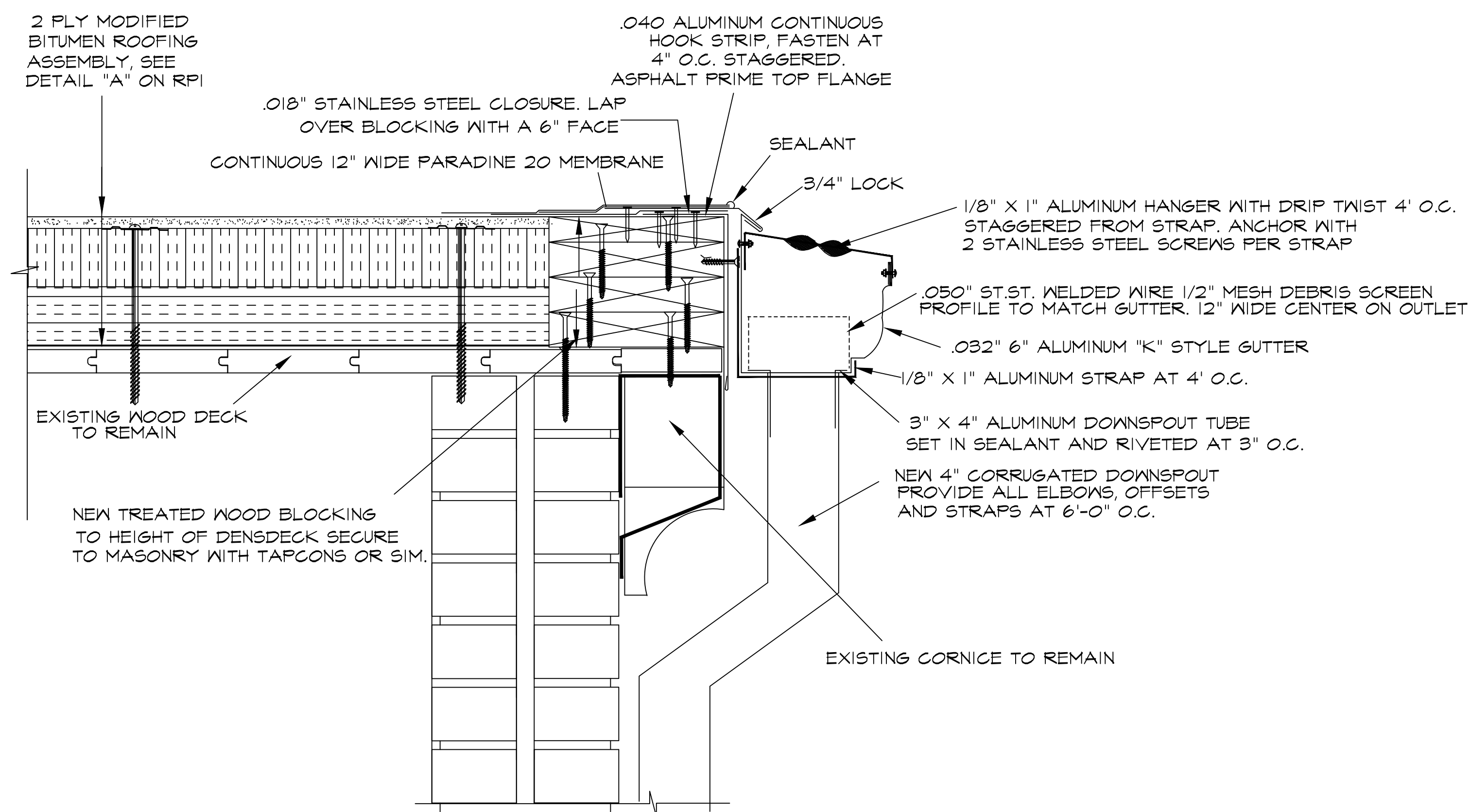
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APPROVED BY:

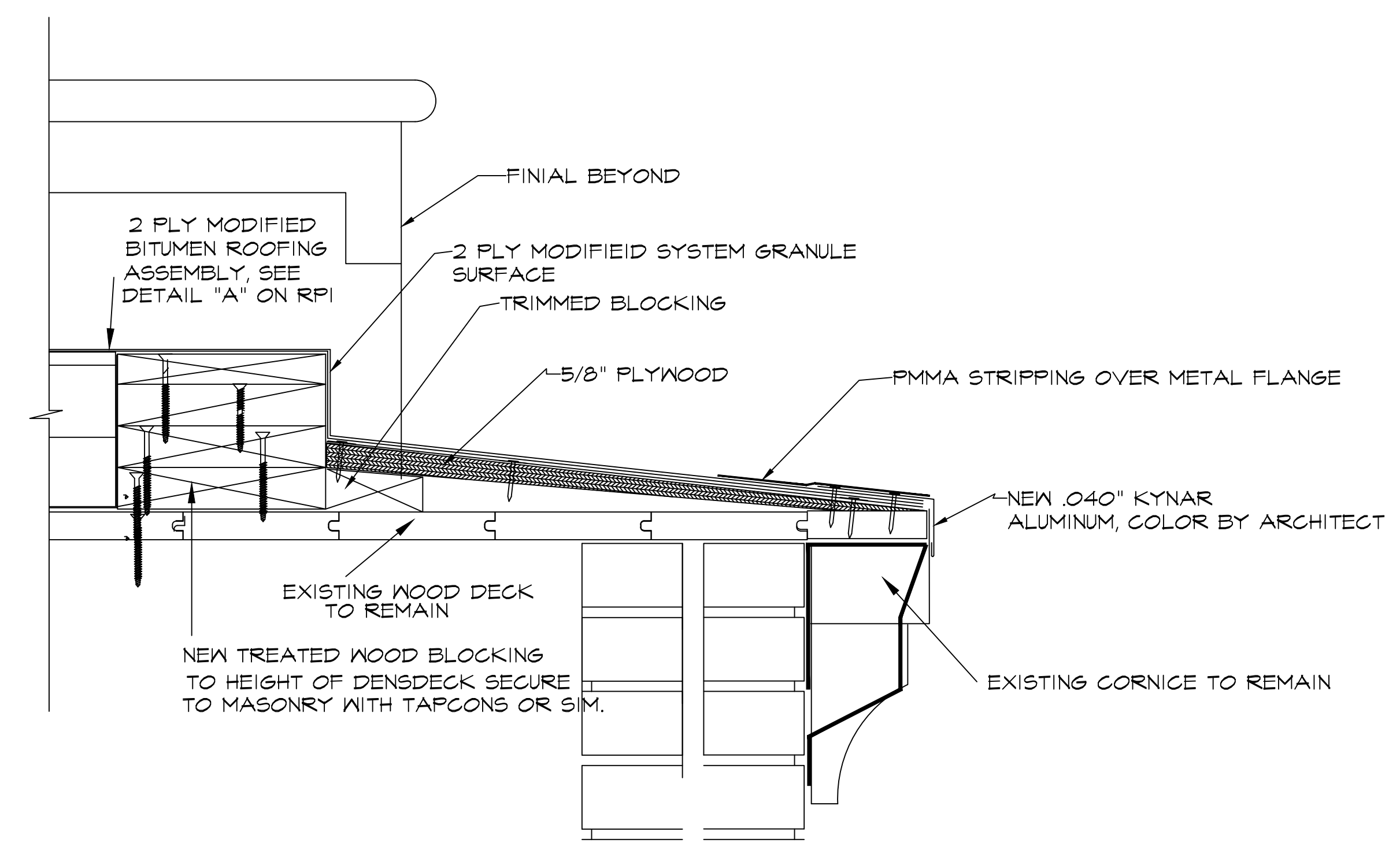
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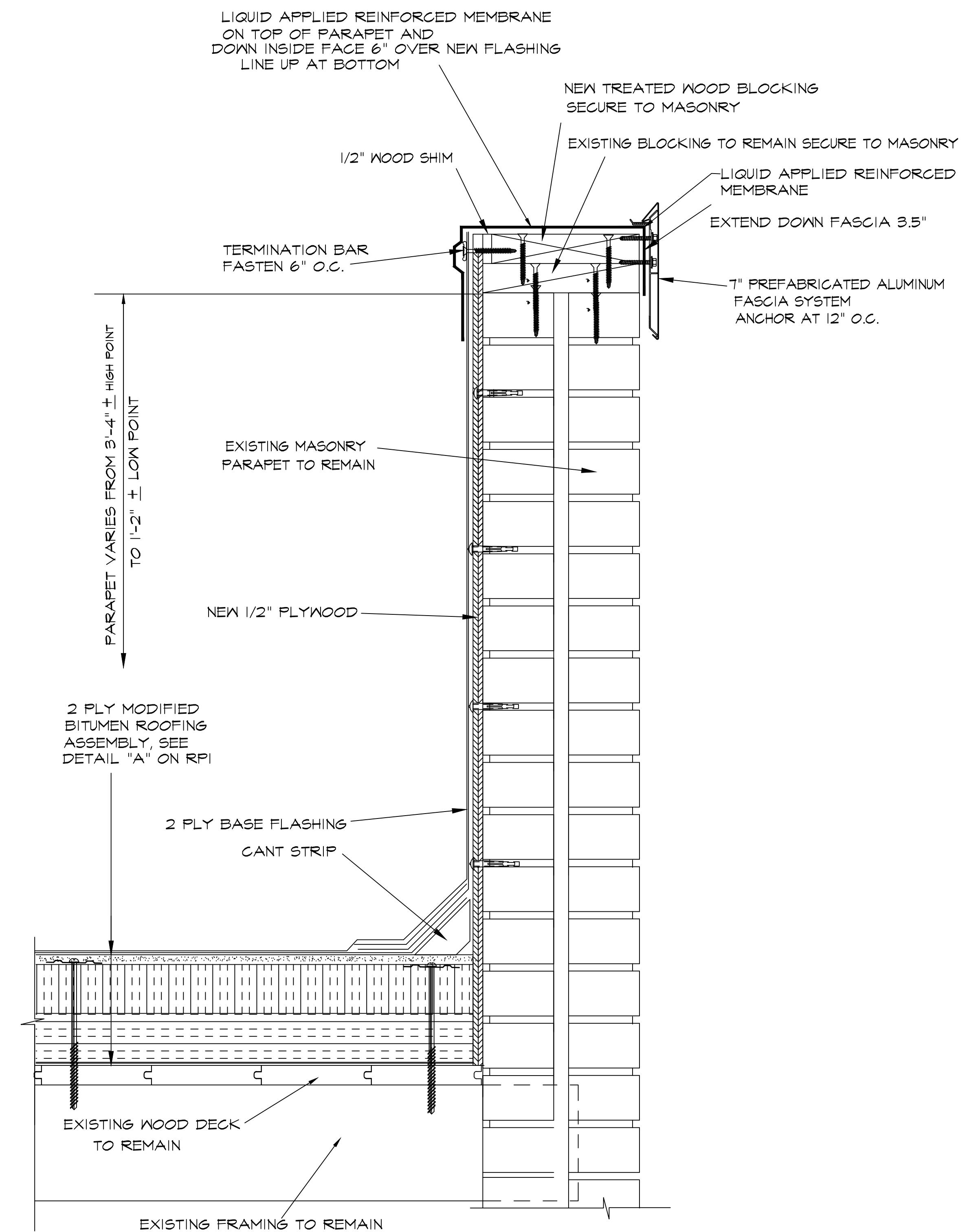
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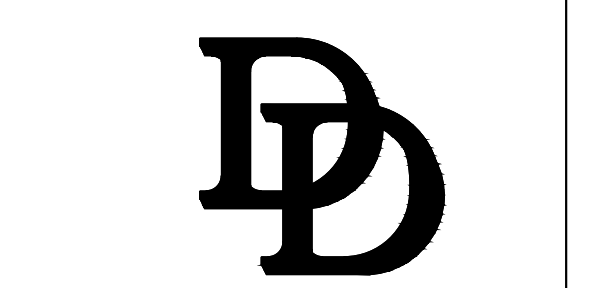
**2 GUTTER DETAIL**  
SCALE 3" = 1'-0"



**3 FASCIA DETAIL**  
SCALE 3" = 1'-0"



**1 TYPICAL PARAPET DETAIL**  
SCALE 3" = 1'-0"



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ROOFING,  
MASONRY AND  
CORNICE  
REPAIRS

**GALLERY 53**

53 Colony Street  
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JOB NO: 51961.10

CADD NO:

FILE NO:

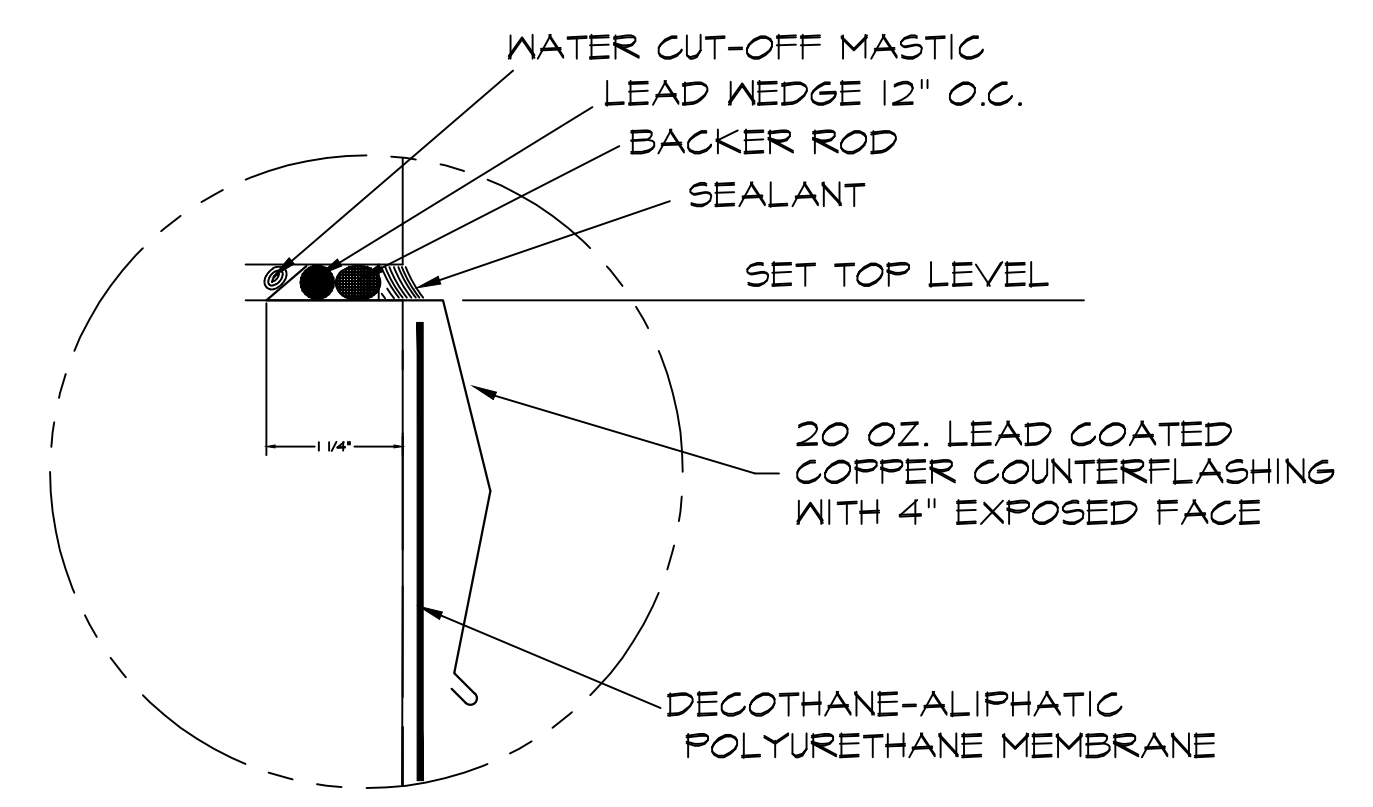
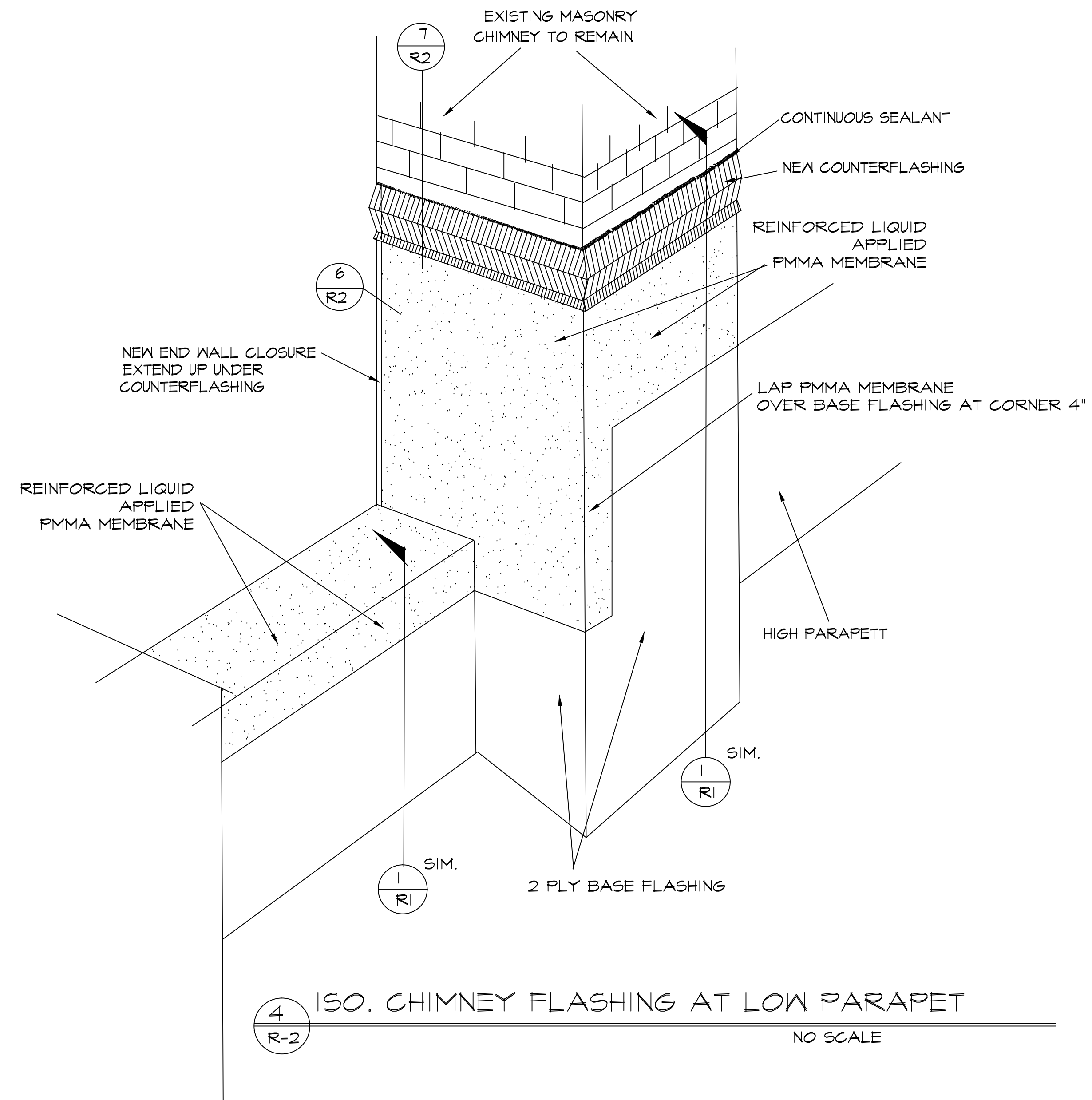
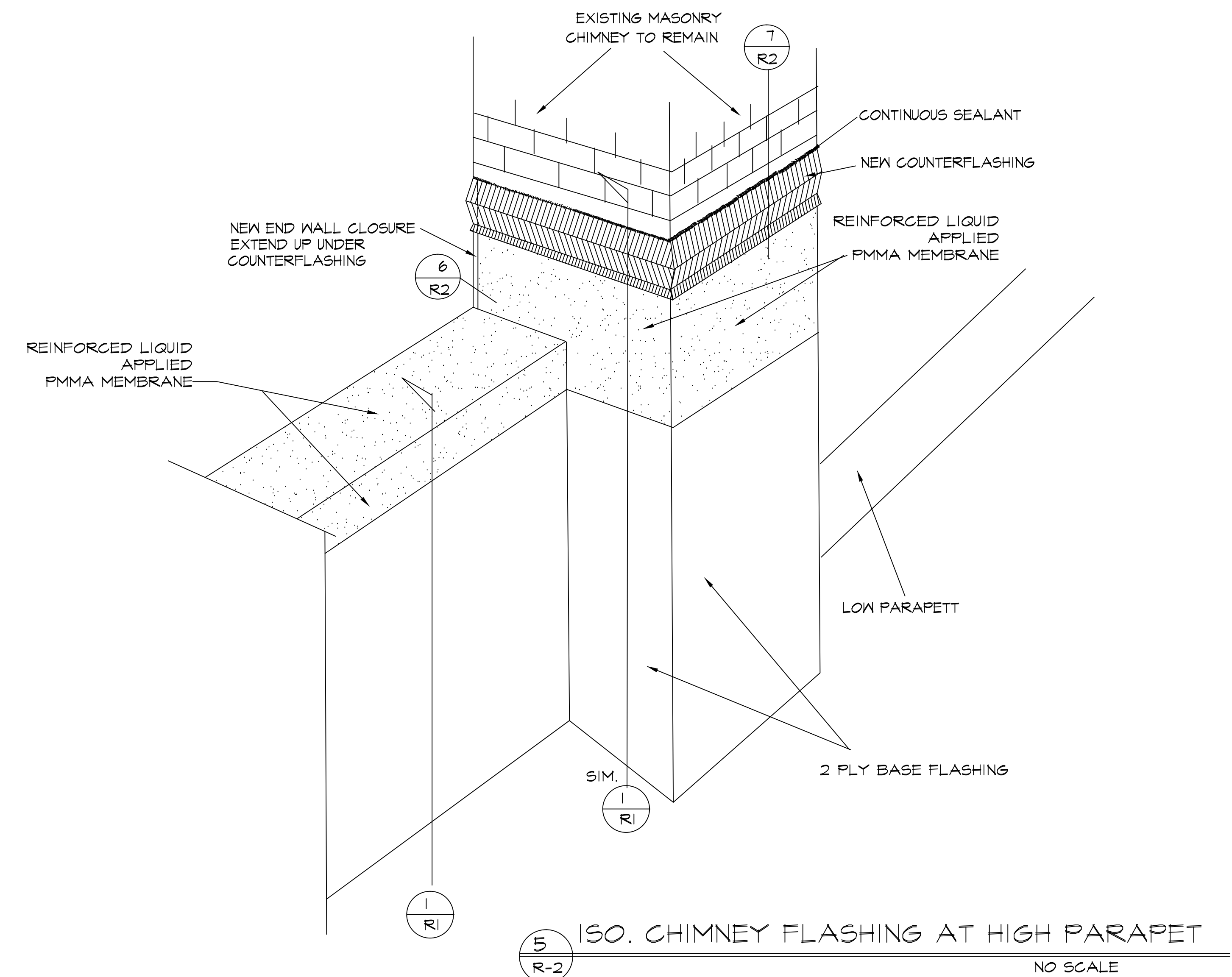
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DATE: 9-30-2022

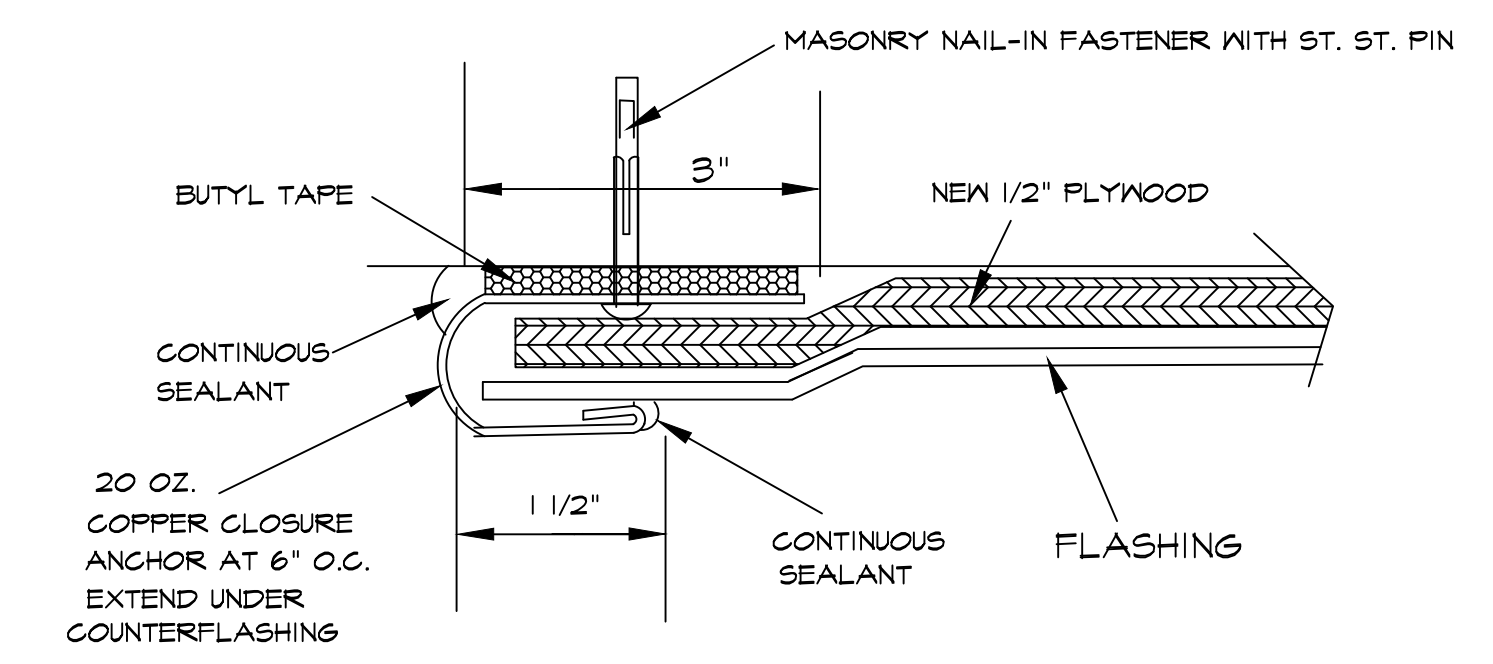
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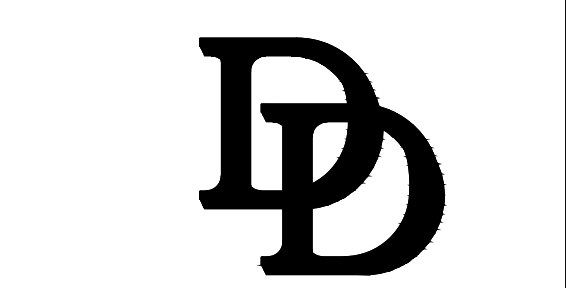
**B** ROOF CONSULTING INC.  
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NOTES: 1. CUT NEW REGLET TO SIZE SHOWN INTO EXISTING MASONRY  
 2. CLEAN ALL DEBRIS FROM REGLET



NOTE: CLOSURE FLANGE FLASHING TO RETURN VERTICALLY UP UNDER COUNTERFLASHING.



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ROOFING,  
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**GALLERY 53**

53 Colony Street  
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JOB NO: 51961.10

CADD NO:

FILE NO:

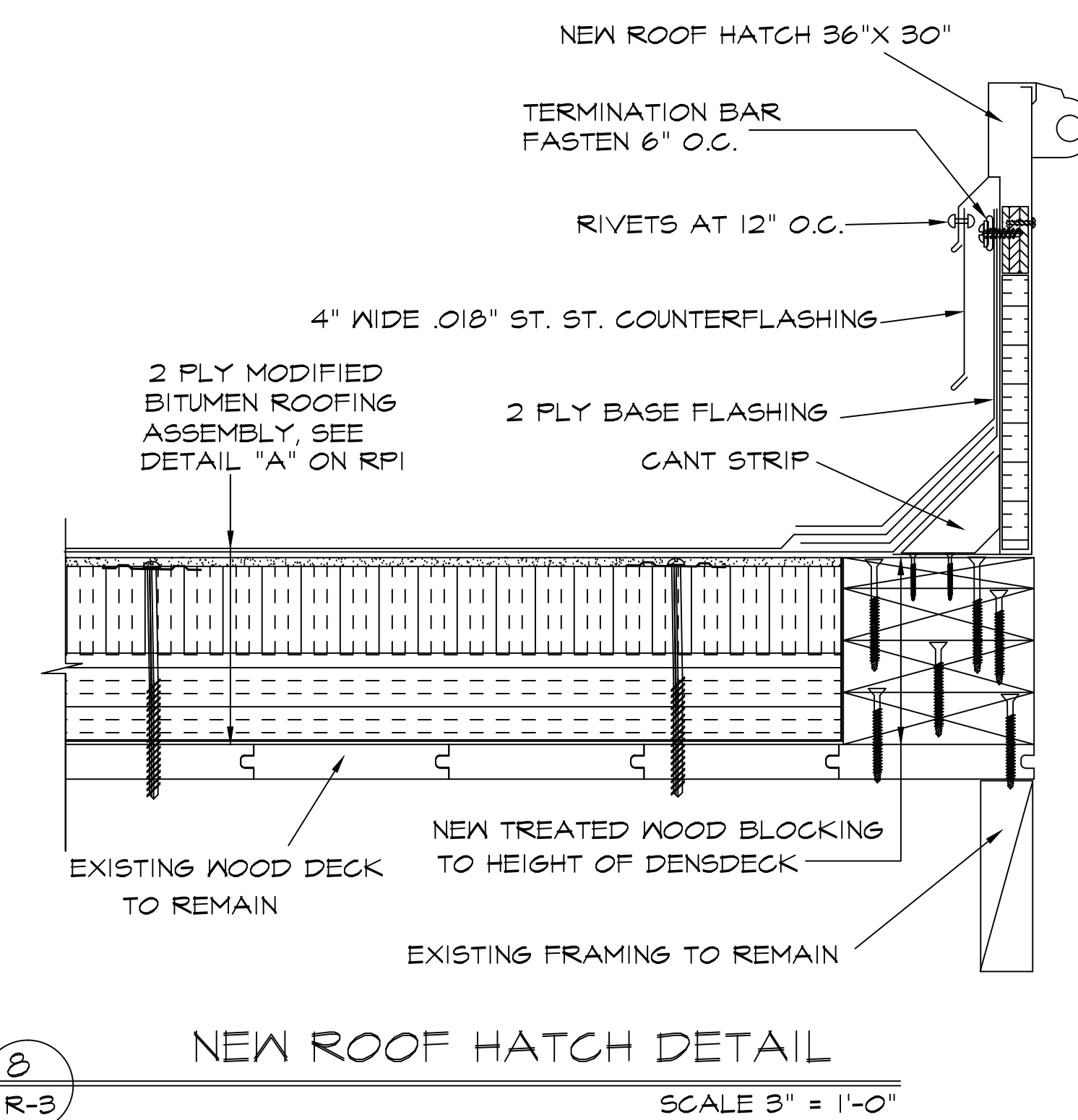
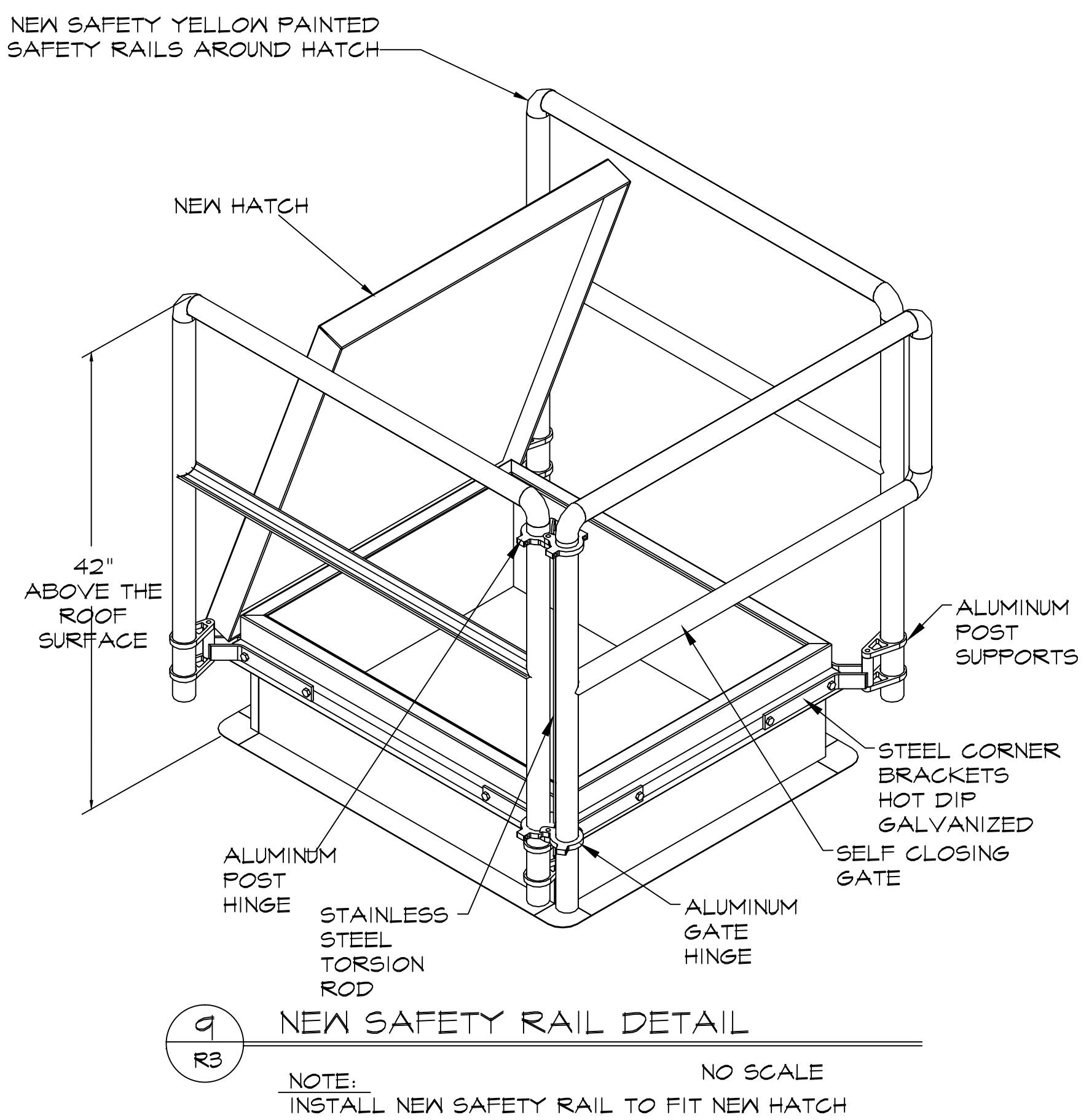
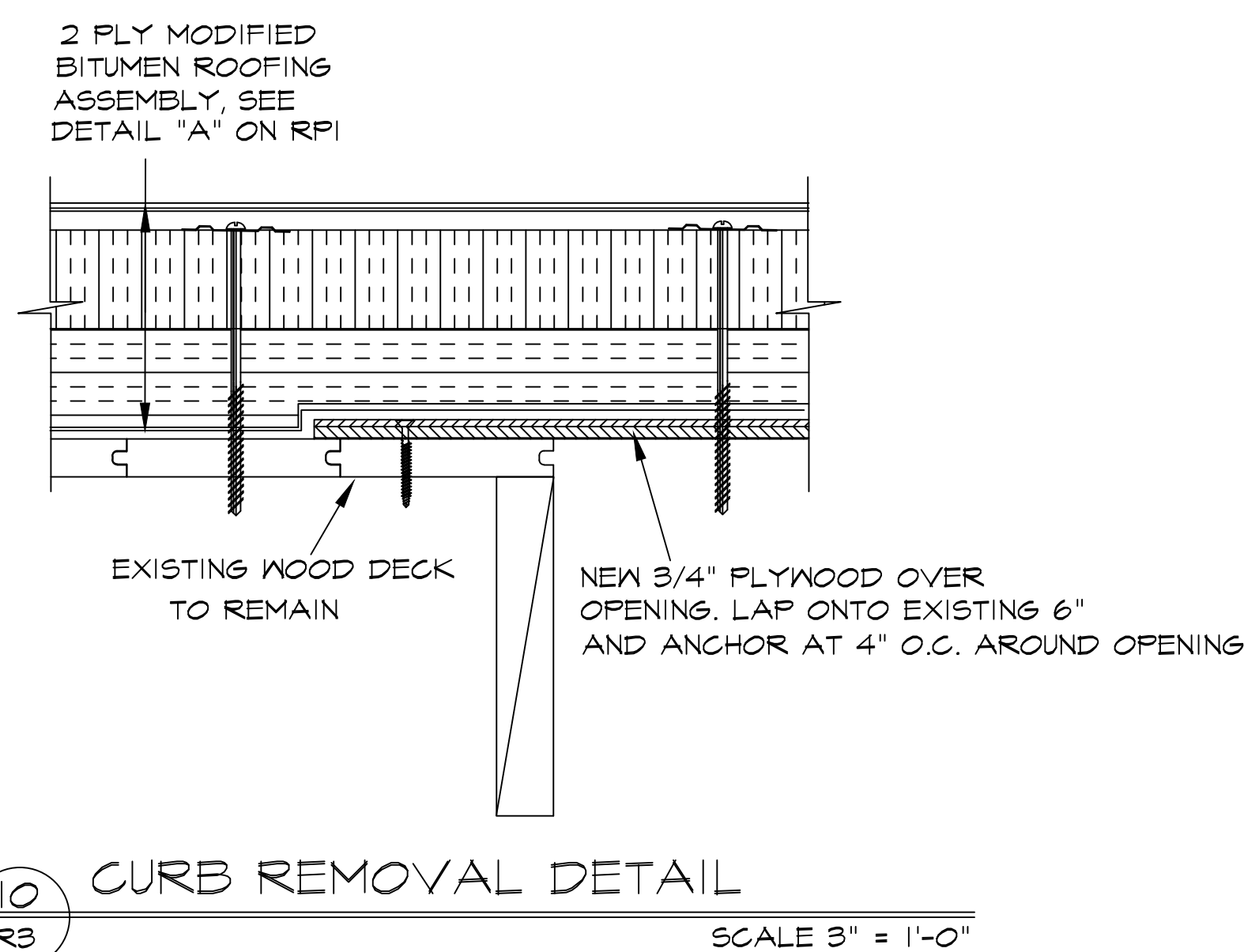
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DATE: 9-30-2022 R2

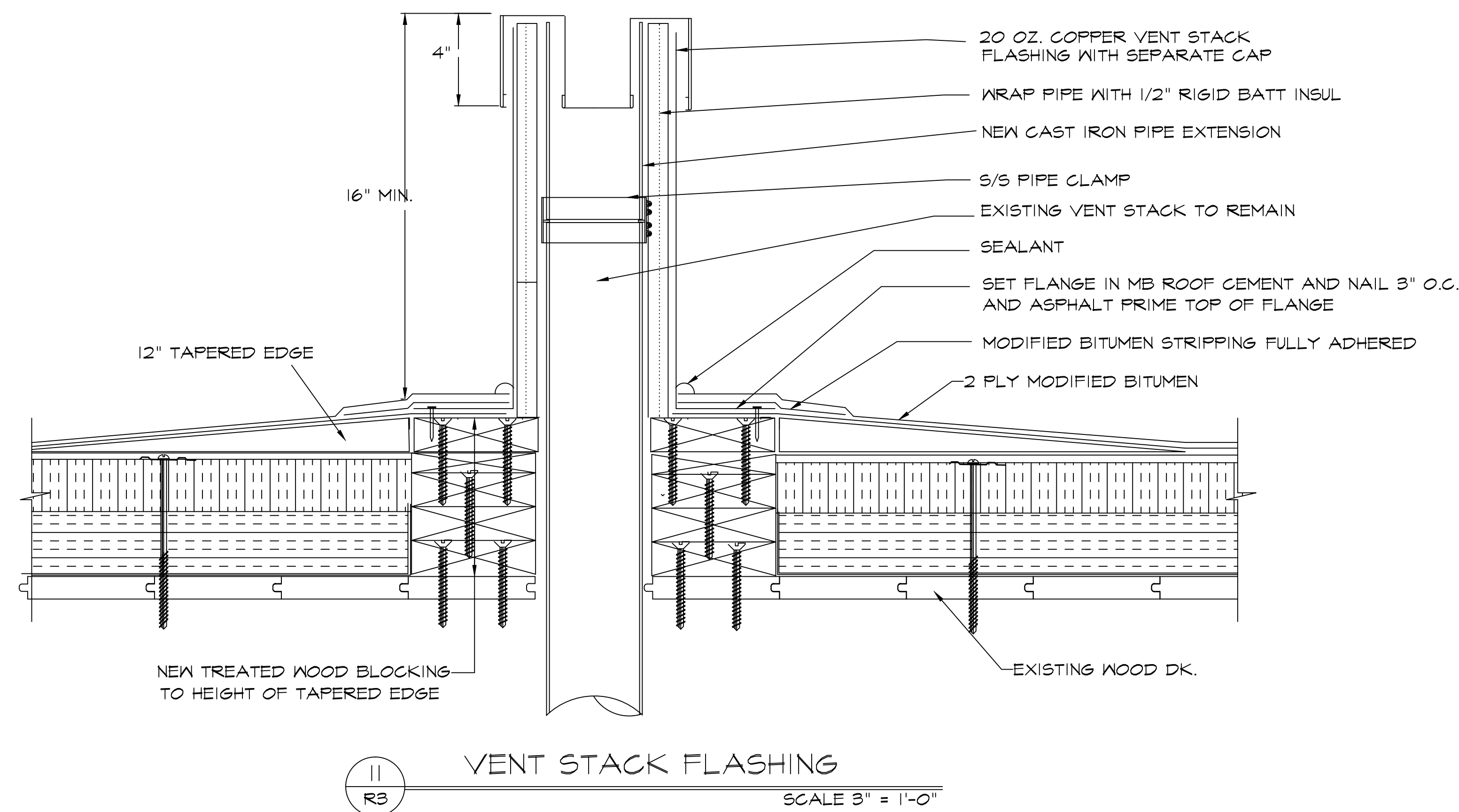
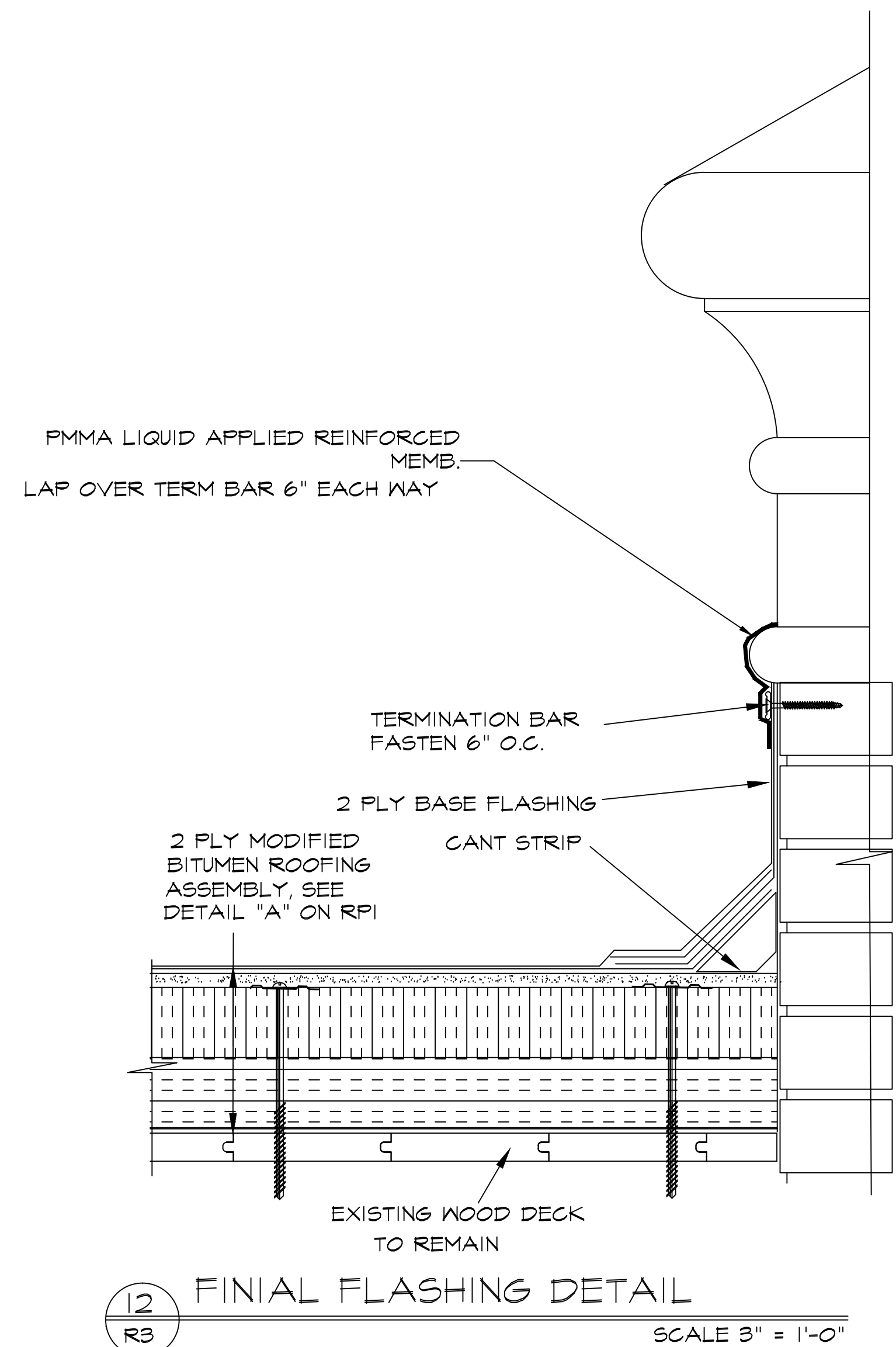
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- NOTES:
1. PROVIDE NEW FRAMING HEADERS AND ENLARGE OPENING TO MATCH NEW ROOF HATCH SIZE.
  2. PROVIDE NEW SAFETY RAILING ATTACHED TO NEW ROOF HATCH. SEE DETAIL 10 THIS SHEET
  3. PROVIDE WALK PAD AT HATCH ENTRANCE



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 CORNICE  
 REPAIRS  
**GALLERY 53**

53 Colony Street  
 Meriden, CT 06451

JOB NO: 51961.10  
 CADD NO:  
 FILE NO:

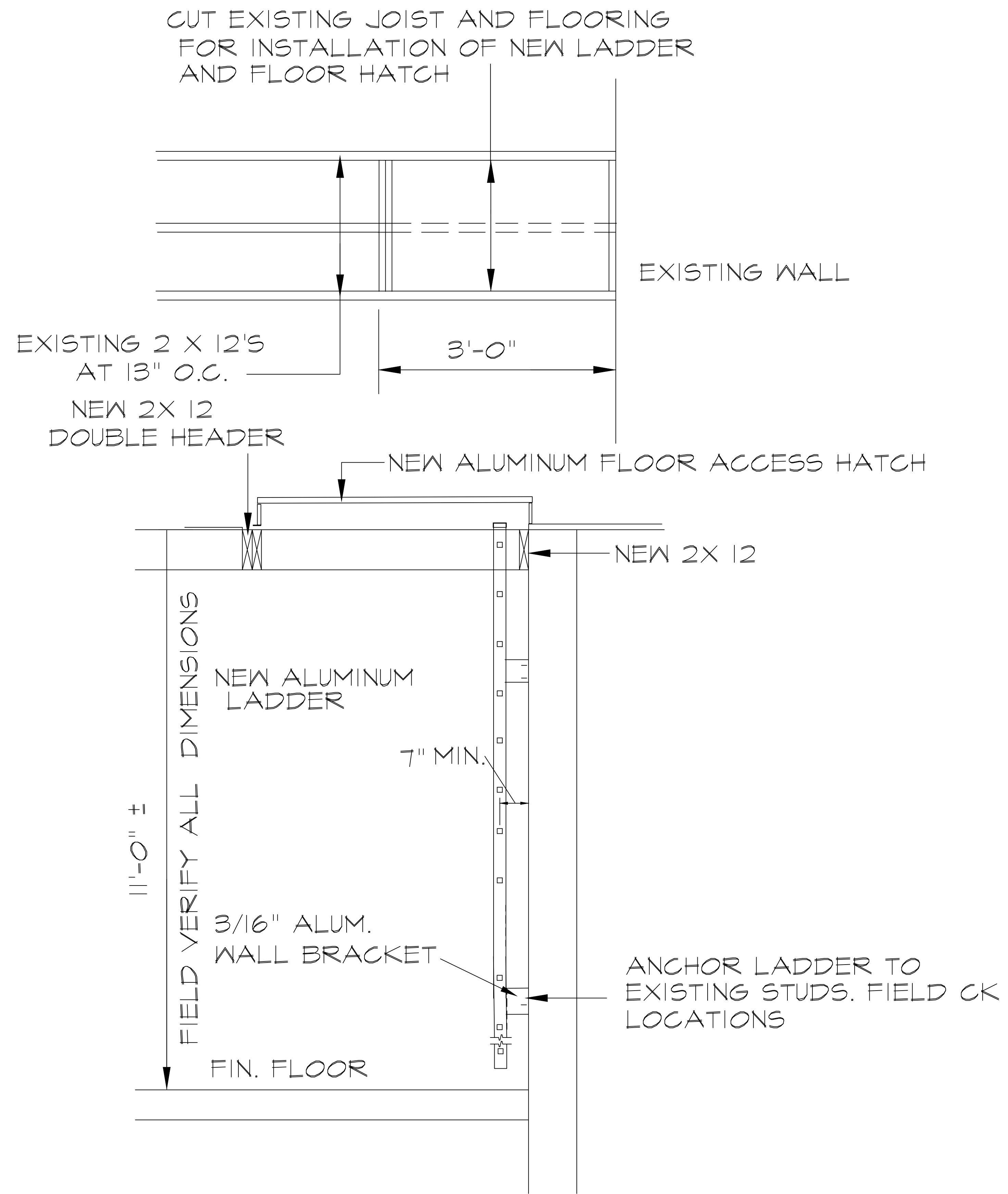
SCALE: AS NOTED  
 DATE: 9-30-2022  
 DRAWING NO: R3

BID DOCUMENTS		
COPYRIGHT 2022		
NO.	DATE	REVISIONS

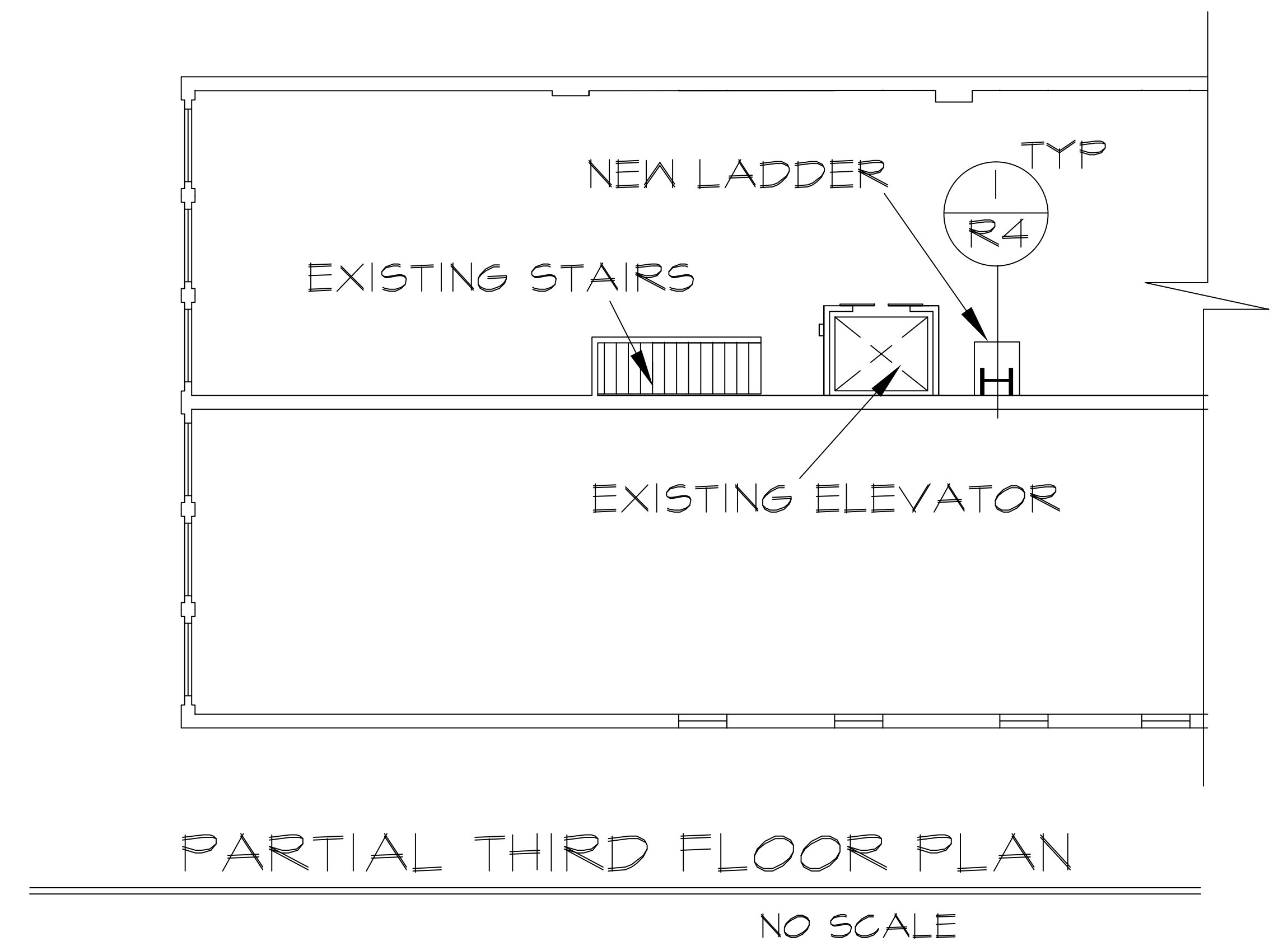
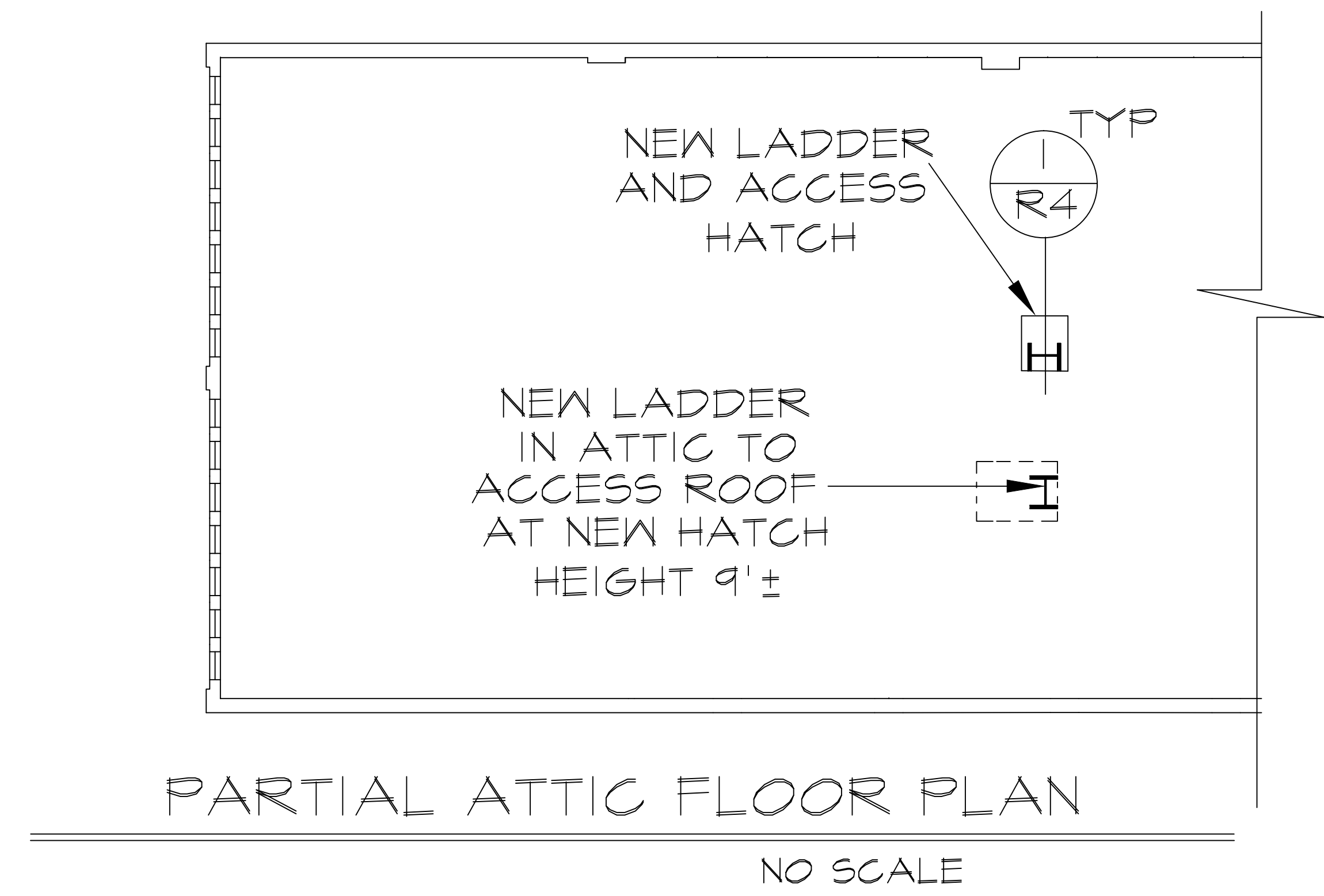
DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 APPROVED BY:

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**B** ROOF CONSULTING INC.  
 121 Hartford Avenue  
 EAST GRANBY, CT 06026  
 PHONE: 860-433-2779  
 FAX: 860-433-2779



**R4** LADDER SECTION THIRD FLOOR  
 NO SCALE



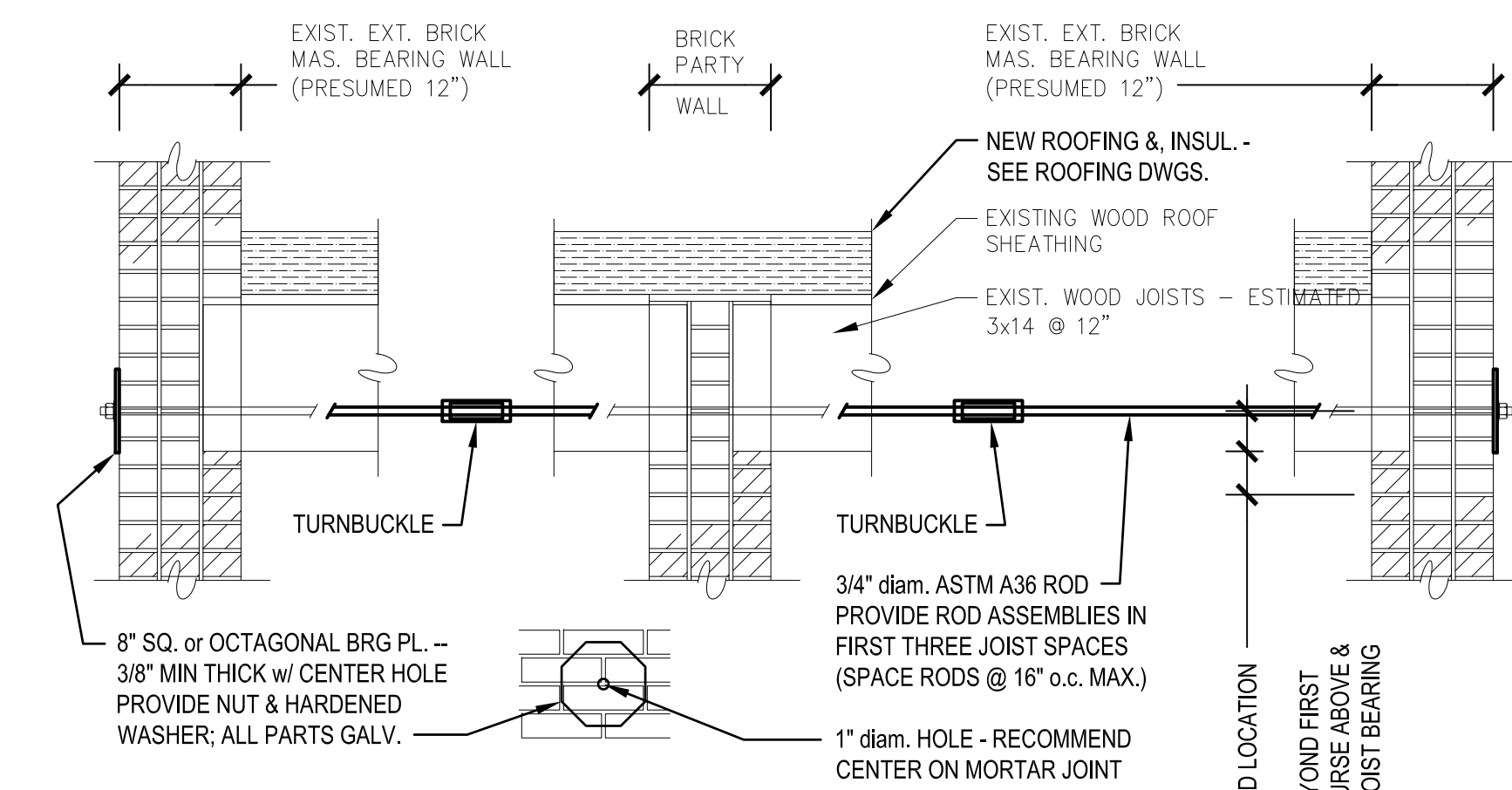
**DD**  
**DECARLO & DOLL, INC.**  
 89 Colony Street  
 Meriden, CT 06451  
 Architects Engineers Surveyors  
 Planners Construction Managers  
 Telephone (203) 379-0467  
 Fax (203) 379-0278

ROOFING,  
 MASONRY AND  
 CORNICE  
 REPAIRS  
**GALLERY 53**

53 Colony Street  
 Meriden, CT 06451

JOB NO: 51961.10  
 CADD NO:  
 FILE NO:

SCALE: AS NOTED  
 DATE: 9-30-2022  
 DRAWING NO: **R4**



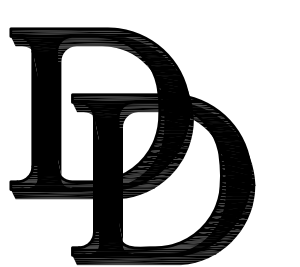
- NOTES:
- EXISTING MASONRY WALL TO BE REPAIRED AND REPOINTED FOR A MINIMUM AREA 16 INCHES BEYOND ALL EDGES OF THE BEARING PLATE.
  - TIE RODS TO BE INSTALLED IN THREE SEGMENTS USING TWO TURNBUCKLES. LENGTHS OF SEGMENTS AT CONTRACTOR'S DISCRETION. ADD'L SEGMENTS ALLOWED w/ ENGR PRIOR APPROVAL.
  - ALL NUTS AND TURNBUCKLES SHALL BE HAND-TIGHT ONLY.
  - LOCATE FIRST ROD WITHIN 12± INCHES OF INTERIOR FACE OF REAR EXTERIOR WALL.
  - CONTRACTOR TO EXAMINE CONDITIONS AND REPORT ISSUES TO ENGINEER IMMEDIATELY. DO NOT PROCEED w/o APPROVED RESOLUTIONS OR ALTERNATES.
  - PROVIDE FIRECAULK AS REQUIRED WHERE ROD PENETRATES PARTY WALL. SEE ARCH'L NOTES, SPECS AND DETAILS.

THIS DETAIL IS NOT INTENDED TO CORRECT MASONRY WALL SPREADING. DO NOT ATTEMPT TO DRAW ANY SPREADING WALLS BACK TOGETHER.

T1 PROPOSED MASONRY TIE ROD DETAIL - REAR WALL EAVE  
S101 NOT TO SCALE

DESIGNED BY: T.O.D.  
DRAWN BY: T.O.D.  
CHECKED BY: W.E.J.  
APPROVED BY: R.W.G.

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**ROOFING,  
MASONRY AND  
CORNICE  
REPAIRS**

**GALLERY 53**

53 Colony Street  
Meriden, CT 06451

JOB NO.: 51961.10  
CADD NO.: S-101  
FILE NO.:

**STRUCTURAL  
DETAILS**

SCALE: AS NOTED DRAWING NO.:  
DATE: October 12, 2022 **S101**

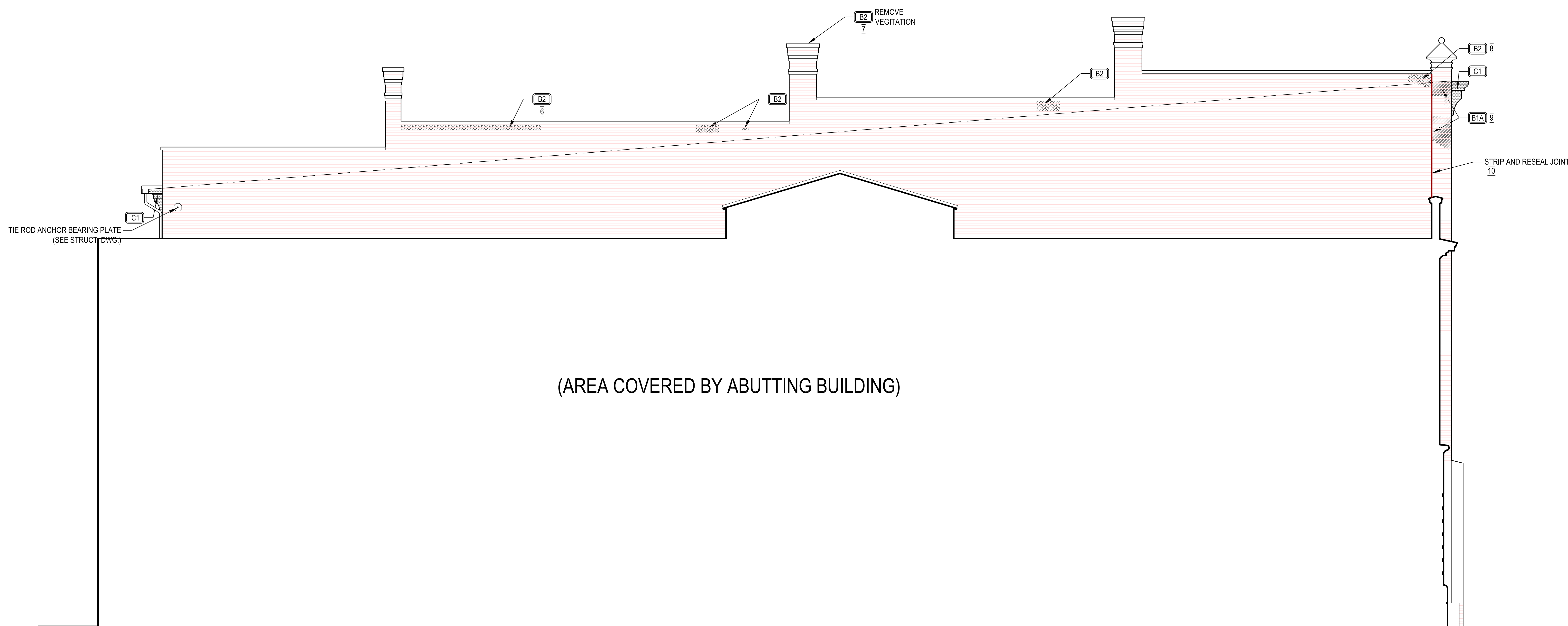




NO.	DATE	REVISIONS

DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 APPROVED BY:

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(AREA COVERED BY ABUTTING BUILDING)



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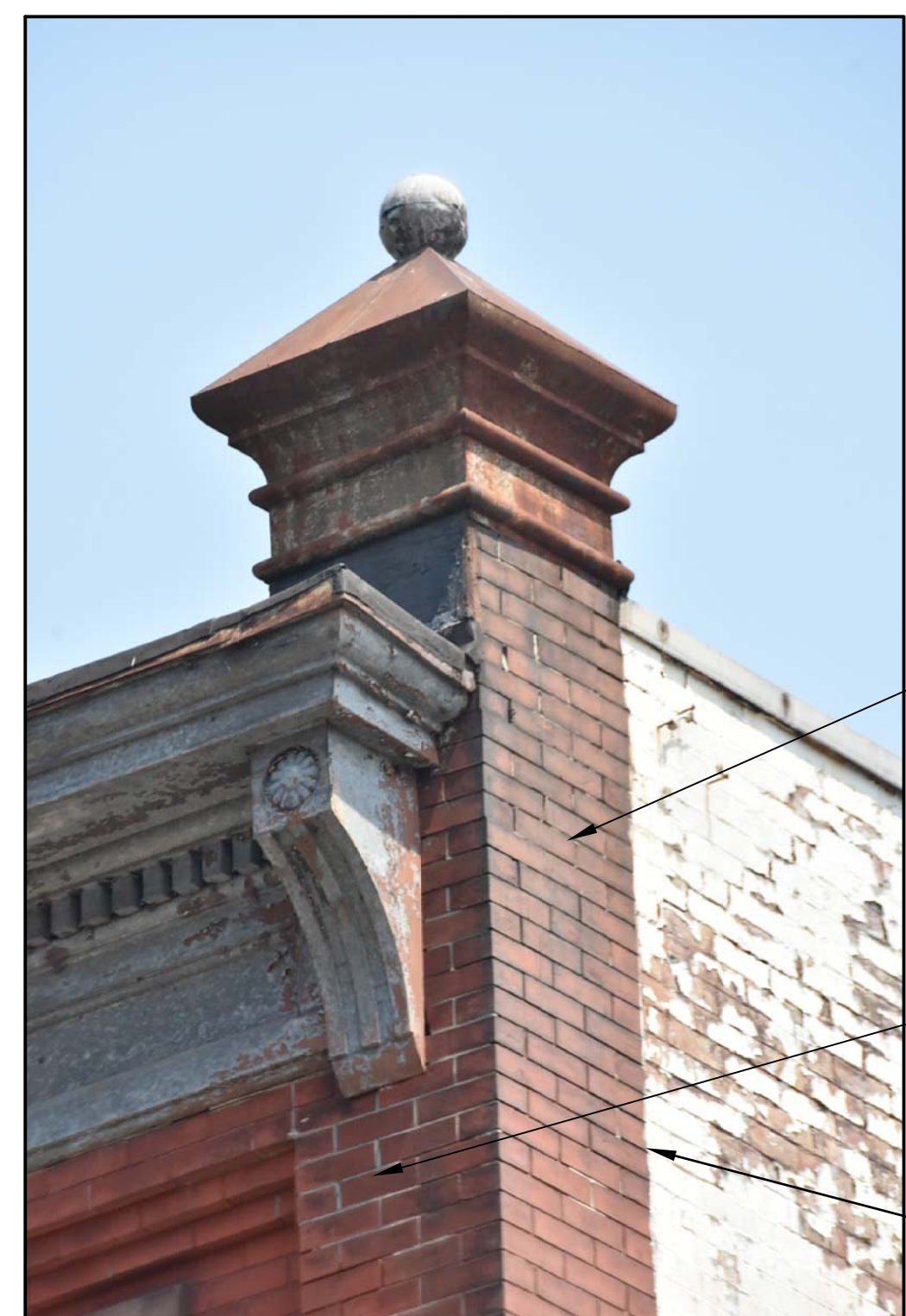
**NORTH  
 ELEVATION**

SCALE: DRAWING NO.:  
 1/4" = 1'-0" A202  
 DATE: October 12, 2022

NO.	DATE	REVISIONS

DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 APPROVED BY:

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11 (B1B)

12 (B1A)

13 (B1A)

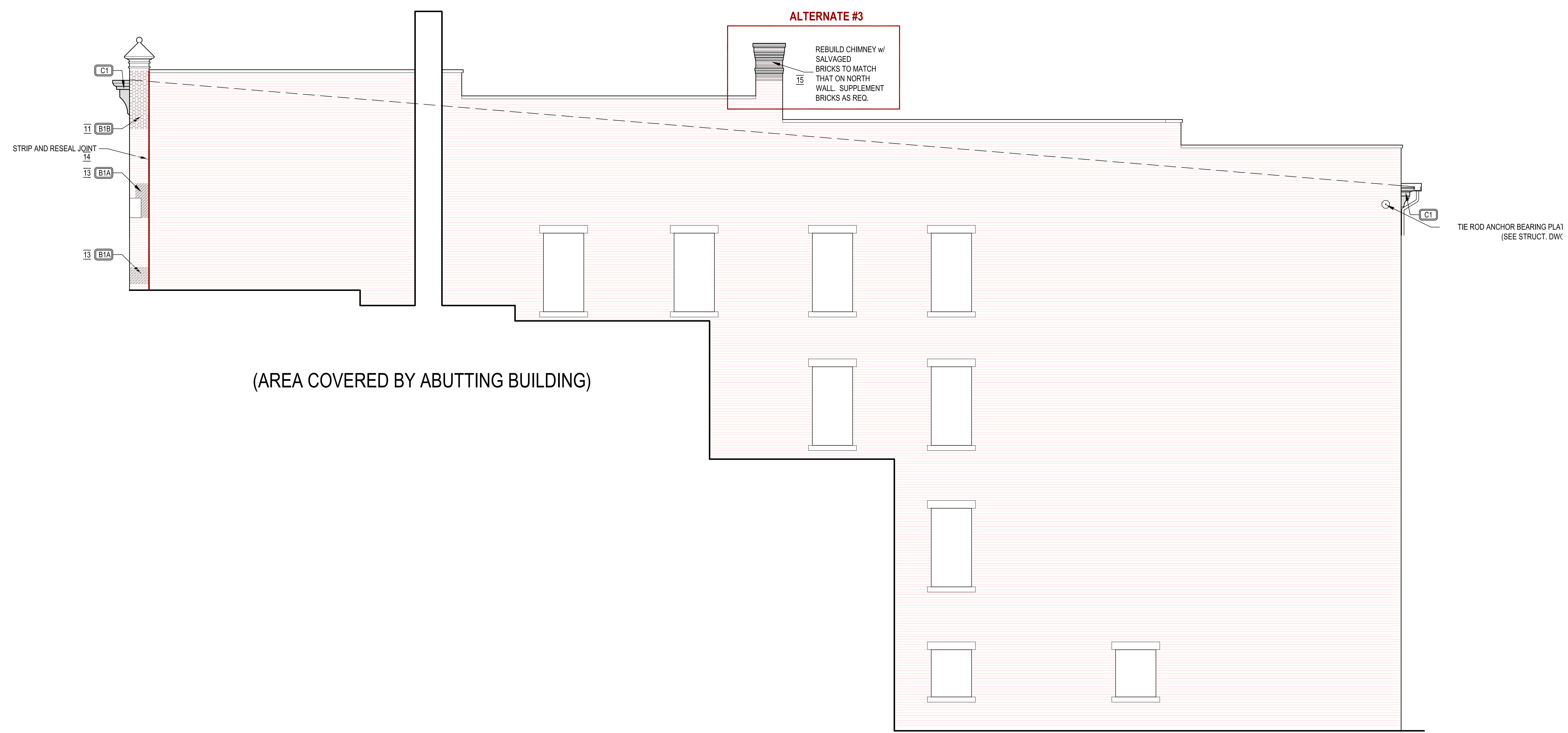
14 STRIP AND RESEAL JOINT



15 REBUILD CHIMNEY w/ SALVAGED BRICKS TO MATCH THAT ON NORTH WALL. SUPPLEMENT BRICKS AS REQ.



15 REBUILD CHIMNEY ABOVE PARAPET LEVEL OF FLUE LINER. INCLUDE NEW FLUE LINER ABOVE EXIST. TO TOP OF CHIMNEY AND CAP CHIMNEY WITH BIRD RESISTANT CHIMNEY CAP.



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**ROOFING,  
 MASONRY AND  
 CORNICE  
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JOB NO.: 51961.10  
 CADD NO.:  
 FILE NO.:

**SOUTH  
 ELEVATION**