

53 COLONY STREET  
ROOFING, MASONRY  
and CORNICE REPAIRS

FOR

GALLERY 53

53 COLONY STREET  
MERIDEN, CT 06451

REPRESENTED IN THIS CONTRACT BY

THE CITY OF MERIDEN

142 MAIN STREET  
MERIDEN, CT 06450

City of Meriden Bid # B023-18

BID DOCUMENTS

OCTOBER 12, 2022

DRAWING INDEX

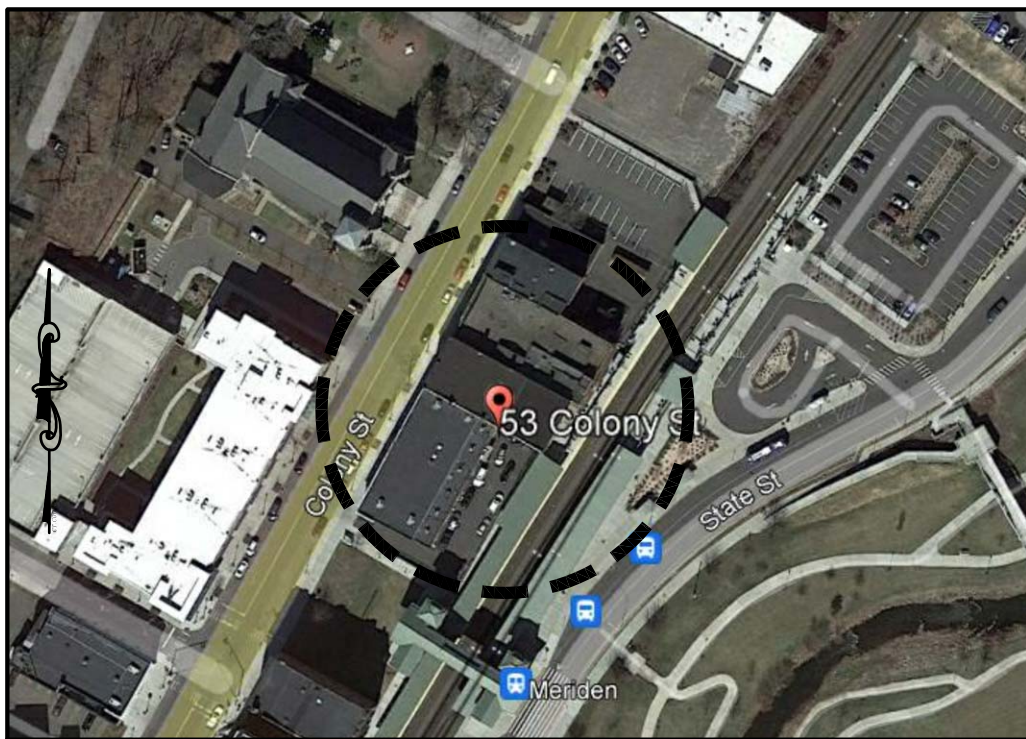
|       |   |
|-------|---|
| COVER |   |
| A-050 | GENERAL NOTES & CODE                            |
| RP1   | ROOF PLAN                                       |
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PROJECT CONSULTANTS

Project Architect:

**DP**  
**DECARLO  
& DOLL, INC.**  
Decarlo & Doll, Inc.  
89 Colony Street  
Meriden, CT 06451

Roofing Engineer:  
BPD Roofing Consulting Inc.  
121 Hartford Avenue  
East Granby, CT 06026



PROJECT SITE LOCATION  
NO SCALE

ABBREVIATIONS

|            |                                 |                |  |
|------------|---------------------------------|----------------|--|
| @          | AT                              | O.C.           | ON CENTER  |
| &          | AND                             | O.D.           | OUTSIDE DIAMETER   |
| ACOUST.    | ACOUSTICAL                      | OP.            | OPPOSITE   |
| ACT.       | ACOUSTICAL CEILING TILE         | P.T.           | PRESSURE-TREATED   |
| ADD.       | ADDITION                        | O.             | PAINT  |
| ADJ.       | ADJUSTABLE                      | PL.            | PLATE (STRUCT. DWGS.)  |
| ADMIN.     | ADMINISTRATION                  | PLY.           | PLYWOOD  |
| A.F.F.     | ABOVE FINISHED FLOOR            | PT.            | PAINTED  |
| AL., ALUM. | ALUMINUM                        | RAD.           | RADIUS   |
| ALLOW.     | ALLOWABLE                       | R.D.           | ROOF DRAIN   |
| APPROX.    | APPROXIMATELY                   | RECEPT.        | RECEPTACLE   |
| B.E.M.S.   | BLDG. ENERGY MANAGEMENT. SYSTEM | REQ., REQ'D    | REQUIRED   |
|            | BIT.                            | RES.           | RESILIENT / RESINOUS   |
|            | BTW.                            | RM.            | ROOM   |
|            | BLDG.                           | R.O.           | ROUGH OPENING  |
|            | BLK.                            | SAFB.          | SOUND ATTEN.   |
|            | B.O.                            |                | FIBERGLASS BATT  |
|            | BM.                             | SHEATH.        | SHEATHING  |
|            | BR.                             | SIM.           | SIMILAR  |
|            | B.W.                            | SO.            | SQUARE   |
|            | CB, CHKBD.                      | ST., STL.      | STEEL  |
|            | C.T.                            | STOR.          | STORAGE  |
|            | C.J.                            | STRUCT.        | STRUCTURAL   |
|            | C.L.                            | T.             | TREAD  |
|            | CL.                             | T&B            | TOP AND BOTTOM   |
|            | CLOS.                           | TCKB.          | TACKBOARD  |
|            | C.M.U.                          | T.O.           | TOP OF   |
|            | COL.                            | T.O.W.         | TOP OF WALL  |
|            | COMP.                           | T.O.STL.       | TOP OF STEEL   |
|            | CONC.                           | TYP.           | TYPICAL  |
|            | CONF.                           | U.L.           | UNDERWRITERS   |
|            | CONT.                           | U.N.O. / U.O.N | LABORATORY   |
|            | CORR.                           |                | UNLESS NOTED   |
|            | DEG.                            | VCT.           | OTHERWISE  |
|            | DISP.                           | VERT.          | VINYL COMOSITION TILE  |
|            | DN.                             | VEST.          | VERTICAL   |
|            | DTL.                            | V.I.F.         | VESTIBULE  |
|            | D.S.                            | WI.            | VERIFY IN FIELD  |
|            | DWG.                            | WD.            | WITH   |
|            | EA.                             | WO             | WOOD   |
|            | EF.                             | W.O            | WITH OUT   |
|            | E.J.                            | W.P.           | WORKING POINT  |
|            | EL., ELEV.                      | W.W.F.         | WELDED WIRE FABRIC   |
|            | ELEC.                           | WPRFG.         | WATERPROOF   |
|            | ELECTRO-MAG                     |                |  |
|            | EQUIP.                          | NOTE:          | ABBREVIATIONS, NOTES & LEGENDS FOR MECHANICAL, ELECTRICAL AND OTHER ENGINEERING DISCIPLINES CAN BE FOUND ON THEIR RESPECTIVE DRAWINGS. |
|            | ELEC.                           |                |  |
|            | EX, EXIST.                      |                |  |
|            | EXP.                            |                |  |
|            | EXP'D.                          |                |  |
|            | F.                              |                |  |
|            | F.E.                            |                |  |
|            | FDN., FOUND                     |                |  |
|            | FL.                             |                |  |
|            | FLR'G.                          |                |  |
|            | FRM.                            |                |  |
|            | GA.                             |                |  |
|            | GALV.                           |                |  |
|            | GFCI., GFI.                     |                |  |
|            |                                 |                |  |
|            | GWB.                            |                |  |
|            | HORIZ.                          |                |  |
|            | HM.                             |                |  |
|            | HR.                             |                |  |
|            | I.J.                            |                |  |
|            | INFO.                           |                |  |
|            | JAN.                            |                |  |
|            | JT.                             |                |  |
|            | LTL.                            |                |  |
|            | M.                              |                |  |
|            | MAX.                            |                |  |
|            | MECH.                           |                |  |
|            | MIN.                            |                |  |
|            | MTL.                            |                |  |
|            | NO.                             |                |  |
|            | N.T.S.                          |                |  |

SYMBOLS

LEGEND

|  |   |
|--|---|
|  | ROOM NAME                                       |
|  | ROOM NUMBER                                     |
|  | DOOR NUMBER                                     |
|  | WINDOW OR LOUVER TYPE                           |
|  | DETAIL ON SAME PAGE                             |
|  | DETAIL NUMBER                                   |
|  | PAGE NUMBER                                     |
|  | BUILDING SECTION                                |
|  | WALL SECTION                                    |
|  | BUILDING ELEVATION                              |
|  | INTERIOR ELEVATIONS                             |
|  | LEVEL / ALIGN                                   |
|  | BUILDING ELEVATION DATUM (w/ N.A.V.D. if noted) |
|  | SITE ELEV. DATUM N.A.V.D.                       |
|  | WALL TYPE                                       |
|  | FIRE EXTINGUISHER                               |
|  | KEYNOTE   |
|  | COLOR DESIGNATION                               |
|  | GLAZING TYPE                                    |
|  | TOILET ACCESSORY                                |
|  | REVISION  |
|  | COLUMN LINE NUMBER                              |
|  | BREAK LINE                                      |



CODE SYMBOLS

LEGEND

|  |                         |
|--|-------------------------|
|  | OCCUPANT EGRESS LOAD    |
|  | ELEMENT EGRESS CAPACITY |
|  | ELEMENT                 |

MATERIALS LEGEND

|  |                        |
|--|------------------------|
|  | CONCRETE               |
|  | CONCRETE MASONRY UNITS |
|  | BRICK                  |
|  | METALS                 |
|  | COMPACTED GRAVEL       |
|  | UNDISTURBED SOIL       |
|  | PLYWOOD                |
|  | ACOUSTICAL TILE        |
|  | WOOD FRAMING           |
|  | FINISHED WOOD          |
|  | BATT INSULATION        |
|  | ACOUSTICAL INSULATION  |
|  | RIGID INSULATION       |
|  | GYPSUM WALL BOARD      |

GENERAL NOTES

- THIS PROJECT COMPRISES ALTERATIONS AND RENOVATIONS TO THE EXISTING BUILDING. THE EXISTING BUILDING IS CURRENTLY OCCUPIED AND THE PROJECT WILL PROCEED IN A MANNER WHICH WILL MINIMIZE ANY INCONVENIENCE TO THE BUILDING OCCUPANTS.
- PRIOR TO SUBMITTING BID, VISIT SITE AND IDENTIFY EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT WORK TO BE PERFORMED. NO COMPENSATION WILL BE GRANTED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY IDENTIFIED BY EXPERIENCED OBSERVERS, INCLUDE IN THE BID ALL DEMOLITION WORK REQUIRED.
- SCOPE OF WORK CONSISTS OF INSTALLATION OF MATERIALS TO BE FURNISHED UNDER THE CONTRACT DOCUMENTS AND WITHOUT LIMITING GENERALITY THEREOF CONSISTS OF FURNISHING, LABOR, MATERIALS, EQUIPMENT, HOISTING, PLANT, TRANSPORTATION, TRUCKING, STAGING, APPURTENANCES, AND SERVICES NECESSARY AND/OR INCIDENTAL TO PROPERLY COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS AS DESCRIBED HEREIN. THE FOLLOWING DEFINITIONS APPLY TO THIS CONTRACT:
  - FURNISH: THE TERM "FURNISH" IS USED TO MEAN SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS.
  - INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS.
  - PROVIDE: THE TERM "PROVIDE" MEANS "TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE."
  - REMOVE: THE TERM "REMOVE" MEANS "TO DISCONNECT FROM ITS PRESENT POSITION, REMOVE FROM THE PREMISES AND TO DISPOSE OF IN A LEGAL MANNER."
- PROVIDE ALL NECESSARY MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK OUTLINED ON THESE CONTRACT DOCUMENTS. THE CONTRACTOR IS TO NOTE THAT THESE DOCUMENTS ARE DIAGRAMMATIC ONLY AND THAT FINAL PLACEMENT OF ELEMENTS OF THE WORK IN THE FIELD MAY NOT DIRECTLY CORRESPOND TO THAT IN WHICH IS SHOWN ON THE DRAWINGS. IF A CONFLICT IN POSITIONING OCCURS, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY TO ASCERTAIN WHAT WAS THE DESIGN INTENT.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT CONNECTICUT STATE BUILDING CODE, CONNECTICUT STATE FIRE CODE, THE CONNECTICUT PUBLIC HEALTH CODE, OSHA AND THE CONNECTICUT GENERAL STATUTES.
- INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS. OBTAIN IN OWNER'S NAME WRITTEN EQUIPMENT AND MATERIAL WARRANTIES OFFERED IN MANUFACTURER'S PUBLISHED PRODUCT DATA WITHOUT EXCLUSION OR LIMITATION.
- GUARANTEE WORK DESCRIBED IN THESE CONTRACT DOCUMENTS IN WRITING FOR NOT LESS THAN ONE YEAR FROM DATE OF FINAL NOTICE OF ACCEPTANCE. REPAIR OR REPLACE DEFECTIVE MATERIALS, EQUIPMENT, WORKMANSHIP AND INSTALLATION THAT DEVELOP WITHIN THIS PERIOD, PROMPTLY AND TO OWNER'S SATISFACTION AND CORRECT DAMAGE CAUSED IN MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER GUARANTEE WITHIN CONTRACT PRICE.
- SUPPLY TO THE OWNER AN OFFICIAL CERTIFICATE OF INSURANCE FOR THEIR RECORDS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING AND BEING AVAILABLE FOR INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION.
- USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
- DO NOT SCALE DRAWINGS. SCALE INDICATED ON DRAWINGS IS FOR ESTABLISHING REFERENCE POINTS ONLY. USE ONLY INDICATED DIMENSIONS. ACTUAL FIELD CONDITIONS SHALL GOVERN ALL DIMENSIONS; ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND INDICATED DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- DIMENSIONS ARE INDICATED TO THE FACE OF STUDS OR MASONRY IN NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL DEBRIS SHALL BE REMOVED FROM THE BUILDING ON A DAILY BASIS AND DISPOSED OF. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE AND DISPOSE OF ALL WASTE MATERIALS, PACKAGING MATERIAL, SHEDS ETC. FROM THE SITE AND DISPOSE OF IN A LAWFUL MANNER IN ACCORDANCE WITH MUNICIPAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE REQUIRED TO PROPERLY STORE MATERIALS AND EQUIPMENT SO AS TO AVOID THEFT OR VANDALISM. IF THEFT OR VANDALISM OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH ITEMS AT THE DIRECTION OF THE ARCHITECT.
- COORDINATE WORK OF ALL TRADES AND ARRANGE INSTALLATION TO AVOID CLASHES BETWEEN EQUIPMENT, WORK OF ALL TRADES AND BUILDING STRUCTURE.
- PROVIDE FIRESTOPPING AROUND ALL PENETRATIONS IN RATED PARTITIONS. PROVIDE ASBESTOS FREE FIRESTOPPING SYSTEM CAPABLE OF MAINTAINING AN

- EFFECTIVE BARRIER AGAINST FLAME AND GASSES. SYSTEM SHALL BE U.L. LISTED AND COMPLY WITH ASTM E814.
- PROVIDE BLOCKING IN WALLS AND/OR ABOVE CEILING FOR ITEMS SIMILAR TO, BUT NOT LIMITED TO THE FOLLOWING: HANDRAILS, TOILET ACCESSORIES AND GRAB BARS, TACK BOARDS, FABRIC WRAPPED PANELS, ACOUSTICAL PANELS, SHADES, SMART BOARDS, PROJECTORS, PROJECTION SCREENS AND SCIENCE EQUIPMENT, ETC.
  - PROVIDE BLOCKING FOR ALL N.L.C. EQUIPMENT. PROVIDE OPENINGS IN WALLS, FLOORS AND SLABS WHERE REQUIRED TO PERMIT THE PASSAGE OF PIPES, CONDUITS, DUCTS, ETC. AND COORDINATE SAME WITH WORK SHOWN ON MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
  - CAREFULLY INSPECT ALL BUILDING ELEMENTS PRIOR TO CUTTING OR DRILLING INTO WALLS, FLOORS OR CEILINGS. PATCH AND PAINT SURFACES DISTURBED BY WORK UNDER THIS CONTRACT AS REQUIRED TO RESTORE THEM TO THEIR ORIGINAL CONDITION.
  - LOCATE CEILING GRID ON CENTERLINES OF SPACES UNLESS OTHERWISE INDICATED. CONFIRM LAYOUT w/ ARCHITECT PRIOR TO INSTALLATION.
  - LOCATE ALL LIGHTS, DIFFUSERS, SPRINKLERS AND OTHER CEILING APPLIANCES ON CENTERLINES OF SPACES OR TILES UNLESS OTHERWISE NOTED. CONFIRM ALL LOCATIONS w/ ARCHITECT PRIOR TO INSTALLATION.
  - PROVIDE TEMPORARY HEAT DURING THE CONSTRUCTION PERIOD AS REQUIRED TO MAINTAIN THE BUILDING TEMPERATURE AT 50 DEGREES F. PROVIDE TEMPORARY VENTILATION AS REQUIRED TO MAINTAIN TOLERABLE WORKING CONDITIONS IN RESPECT TO FRESH AIR, TEMPERATURE AND FILTRATION.
  - THE CONTRACTOR SHALL COORDINATE ALL INTERRUPTIONS OF SERVICE AND LIMITATIONS OF ACCESS WITH THE OWNER NO LESS THAN FIVE DAYS PRIOR TO SUCH INTERRUPTIONS OR LIMITATIONS.

CODE INFORMATION

THE INTERNATIONAL EXISTING BUILDING CODE

|            |  |
|------------|--|
| CHAPTER 3: | COMPLIANCE METHODS   |
| 301.1.2    | Work area compliance method is used for this project                                       |
| CHAPTER 5: | CLASSIFICATION OF WORK   |
| 502.1      | Exterior wall work is classified as Repairs, patching or replacement of damaged materials. |
| 503.1      | Roof work is classified as Level 1, removal and replacement of existing materials (etc.)   |
| 502.2      | Roof work will conform to Chapter 7 requirements for Level 1                               |
| CHAPTER 7  | ALTERATIONS - LEVEL 1  |
| 706.1      | Reroofing will comply with IBC Chapter 15.   |
| 706.2      | Existing structure is capable of supporting proposed reroofing.                            |
| 706.3      | Existing roofing will be removed before reroofing  |
| 706.6      | New flashings will comply with manufactures or industry recommendations.                   |

CURRENTLY APPLICABLE CODES

2022 CONNECTICUT STATE BUILDING CODE

2021 International Building Code\*  
2021 International Existing Building Code\*  
2021 International Energy Conservation Code\*  
2021 International Mechanical Code\*  
2021 International Plumbing Code\*  
2020 National Electrical Code (NFPA 70)\*  
2017 Accessible and Usable Buildings and Facilities (ICC A117.1 2017)

2022 CONNECTICUT STATE FIRE PREVENTION CODE

2021 NFPA 1 Fire Code\*

2022 CONNECTICUT STATE FIRE SAFETY CODE

2021 International Fire Code\*

\* With Connecticut Amendments and General Statute requirements

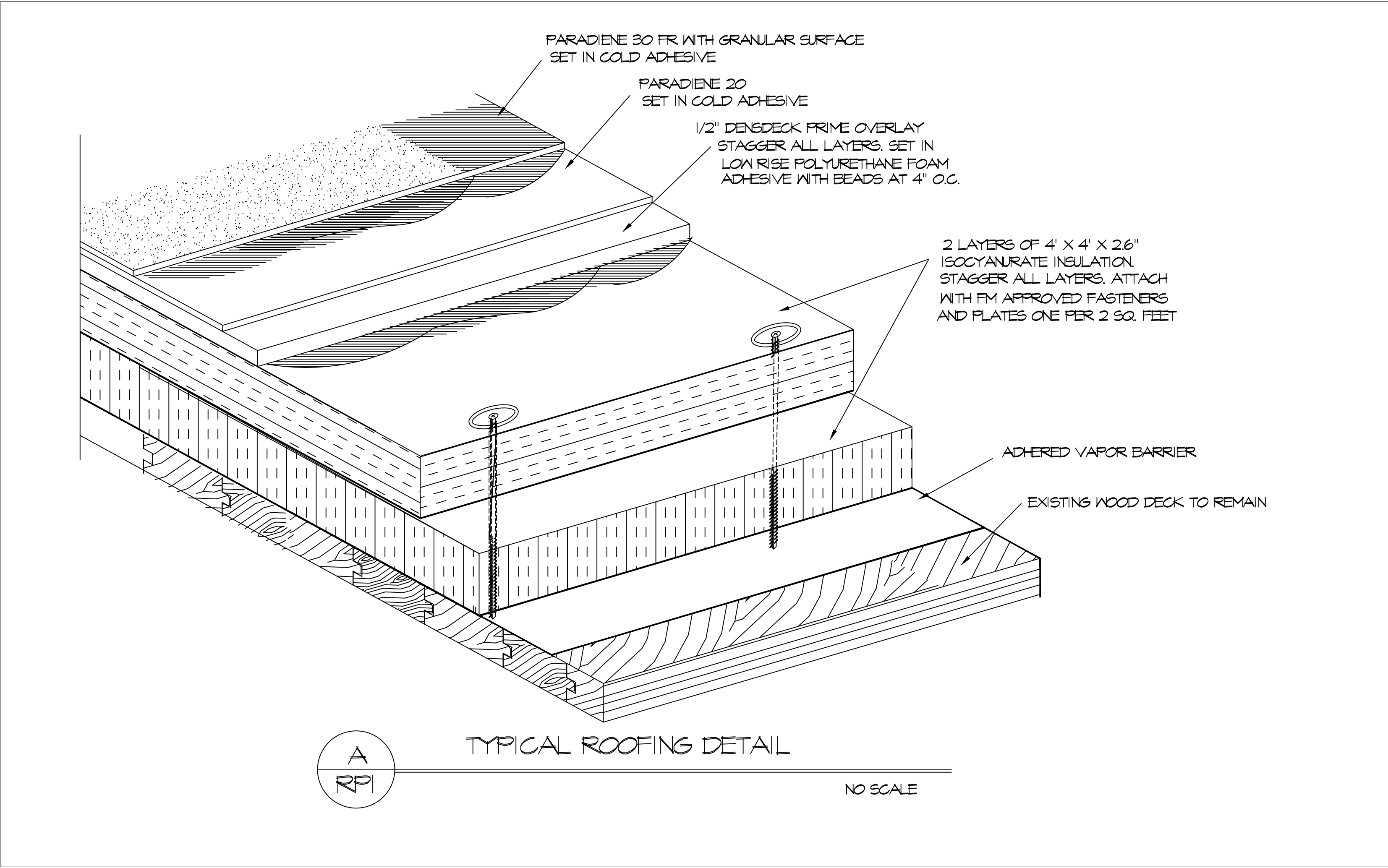
CODE COMPLIANCE INFORMATION

|  |  |            |
|--|--|------------|
| Date of Original Construction                      | ca 1908  |            |
| 1. USE AND OCCUPANCY CLASSIFICATION (CHAPTER 3)    |  |            |
| Primary  | M  | Mercantile |
| Secondary  | B  | Business   |
| 2. CONSTRUCTION TYPE                               |  |            |
| Actual (Existing)                                  | III B<br>(brick bearing exterior and demising walls with wood framed floors) |            |
| New Construction                                   | NONE   |            |
| 3. WORK AREA                                       | No Change of Use   |            |
| 4. FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601) |  |            |
| Primary Structural Frame                           | 1 Hr   |            |
| Bearing Walls                                      |  |            |
| Exterior   | 2 Hr   |            |
| Interior   | 2 Hr   |            |
| Non-Bearing Walls and Partitions                   |  |            |
| Exterior   | -  |            |
| Interior   | 0 Hr   |            |
| Floor Construction                                 | 0 Hr   |            |
| Roof Construction                                  | 0 Hr   |            |
| Special Fire Separation Requirements               | NO NEW WORK  |            |
| 5. OCCUPANCY LOAD                                  |  |            |
| Work Area - Existing Occupancy Load                | NO CHANGE  |            |
| 6. MODIFICATIONS                                   | NONE   |            |
| 7. ACCESSIBLE BUILDING                             | PARTIAL / NO CHANGE  |            |
| 8. MINIMUM PLUMBING COUNT                          | NO CHANGE  |            |
| 9. SPRINKLER PROTECTION (Existing)                 | NO   |            |

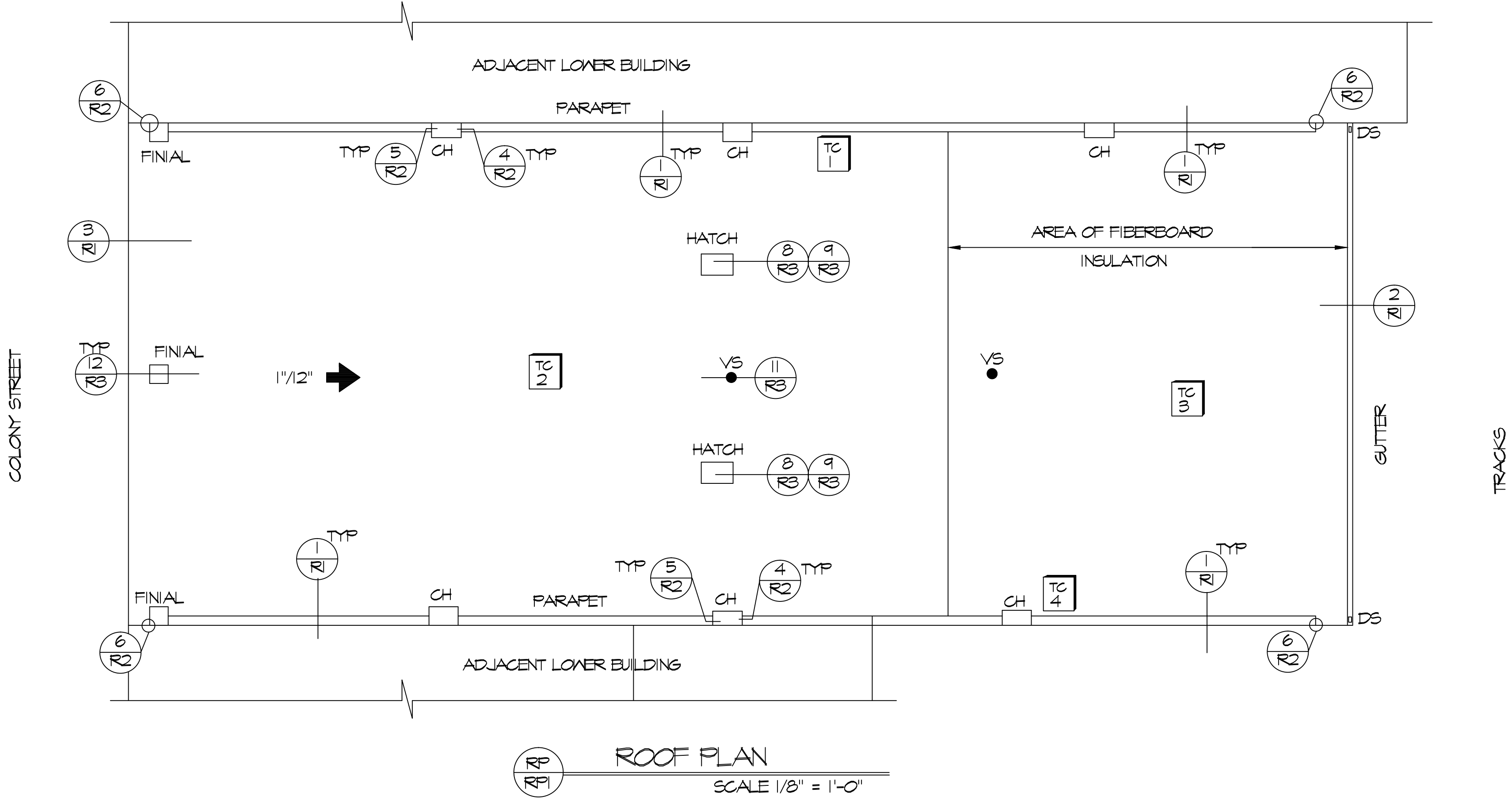
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APPROVED BY:

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| KEY    |                              |        |             |
|--------|------------------------------|--------|-------------|
| SYMBOL | DESCRIPTION                  | SYMBOL | DESCRIPTION |
| DS     | DOWNGUT                      | RH     | ROOF HATCH  |
| VS     | VENT STACK                   | CH     | CHIMNEY     |
| →      | DIRECTION OF DOWNWARD PITCH  |        |             |
| [1]    | TEST CUT LOCATION AND NUMBER |        |             |



BID DOCUMENTS

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ROOFING,

MASONRY AND

CORNICE

REPAIRS

GALLERY 53

53 Colony Street

Meriden, CT 06451

JOB NO:

51961.10

CADD NO:

FILE NO:

SCALE:

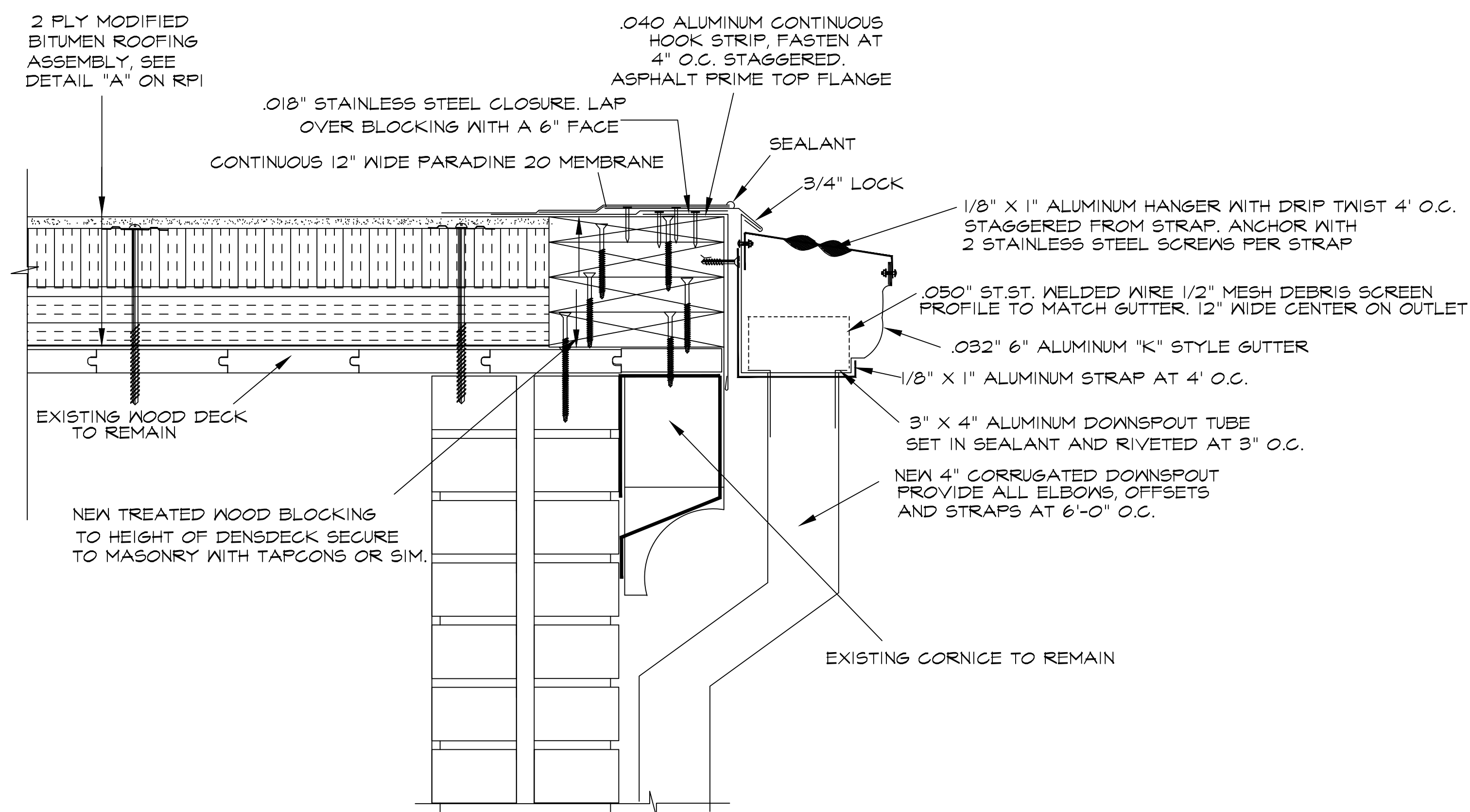
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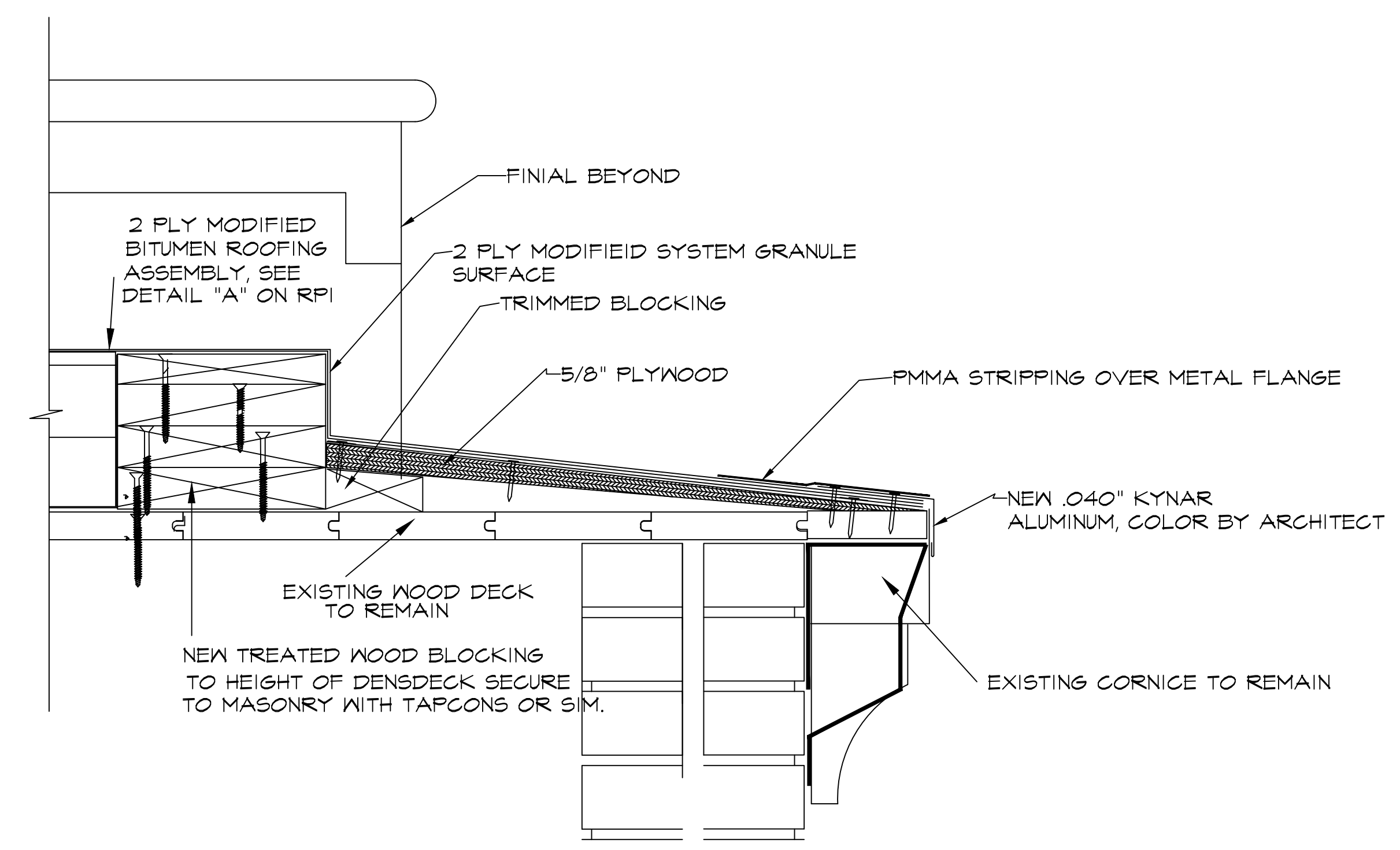
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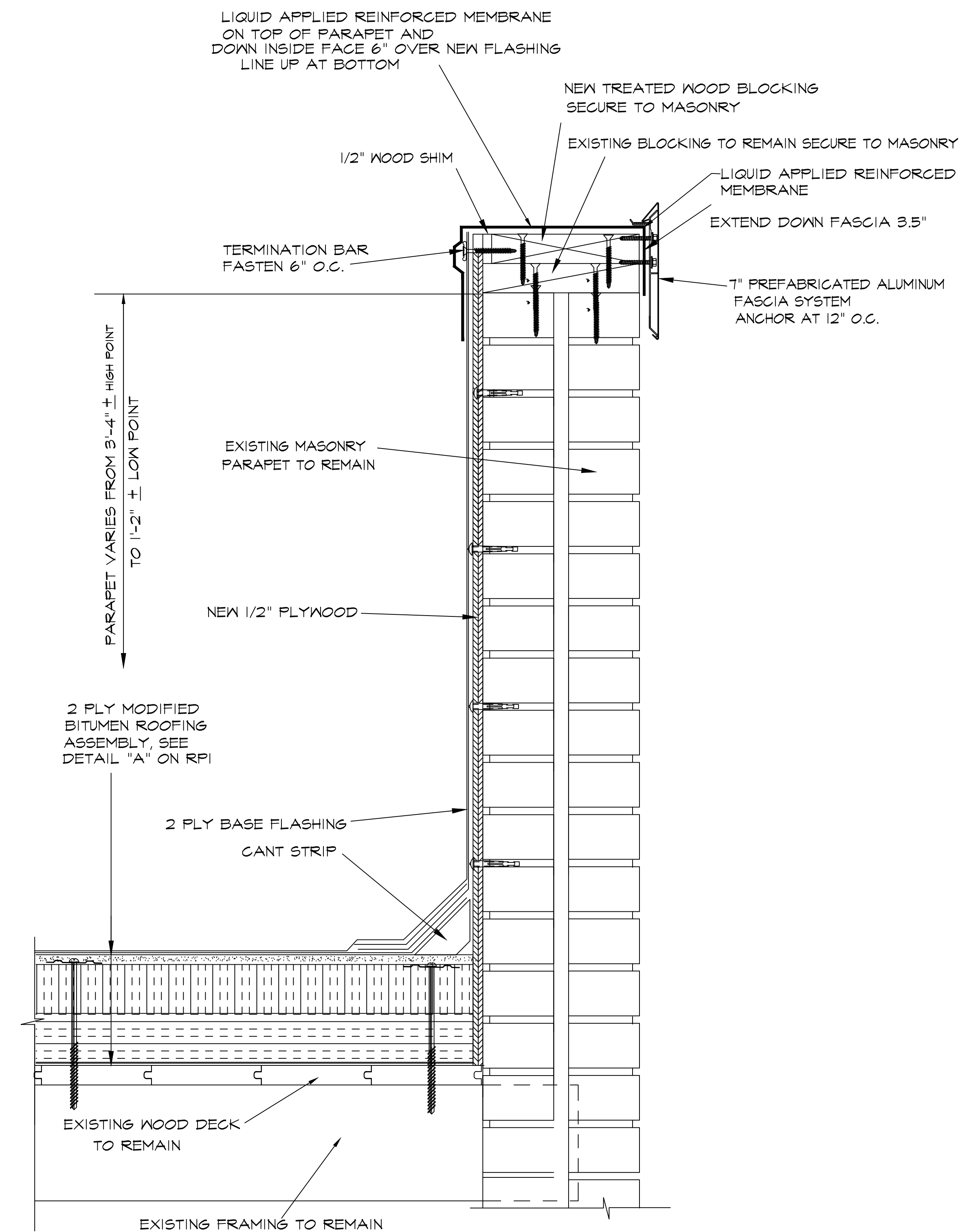
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2 GUTTER DETAIL  
SCALE 3" = 1'-0"



3 FASCIA DETAIL  
SCALE 3" = 1'-0"



1 TYPICAL PARAPET DETAIL  
SCALE 3" = 1'-0"

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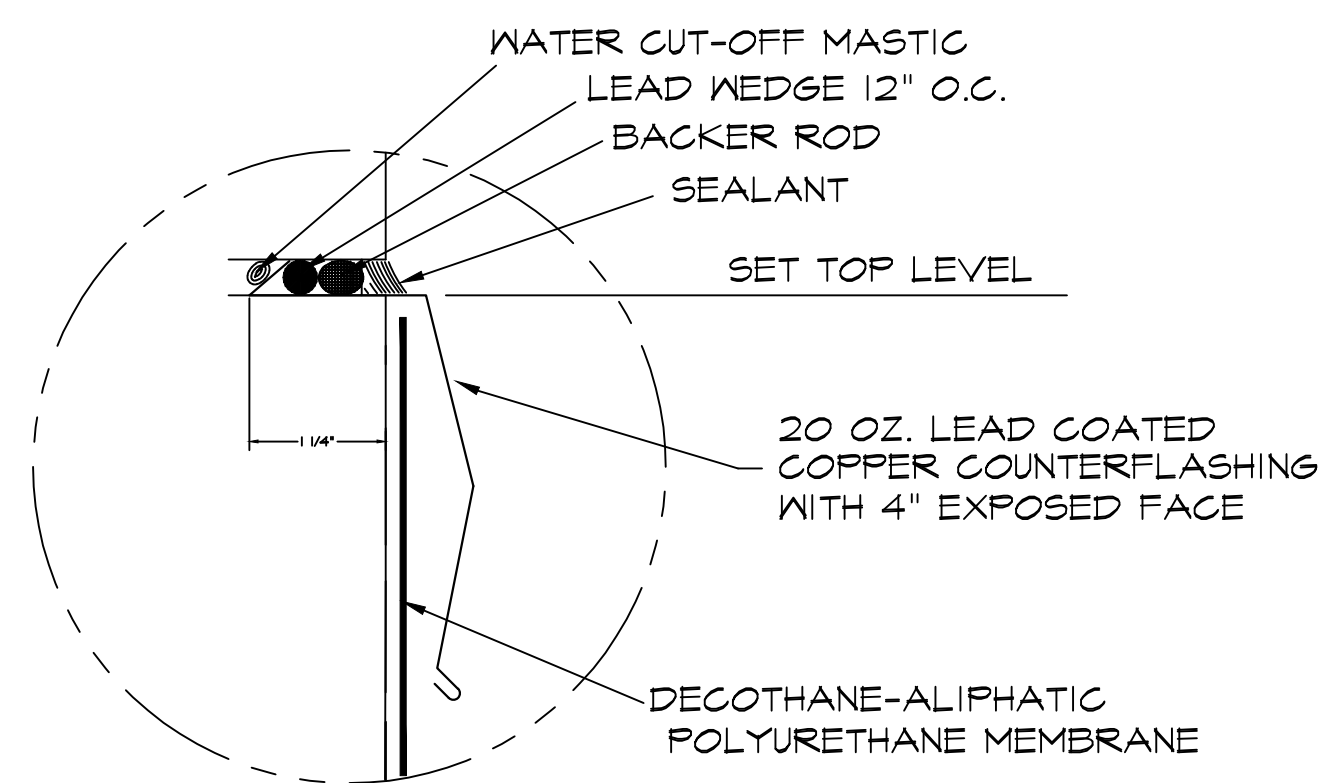
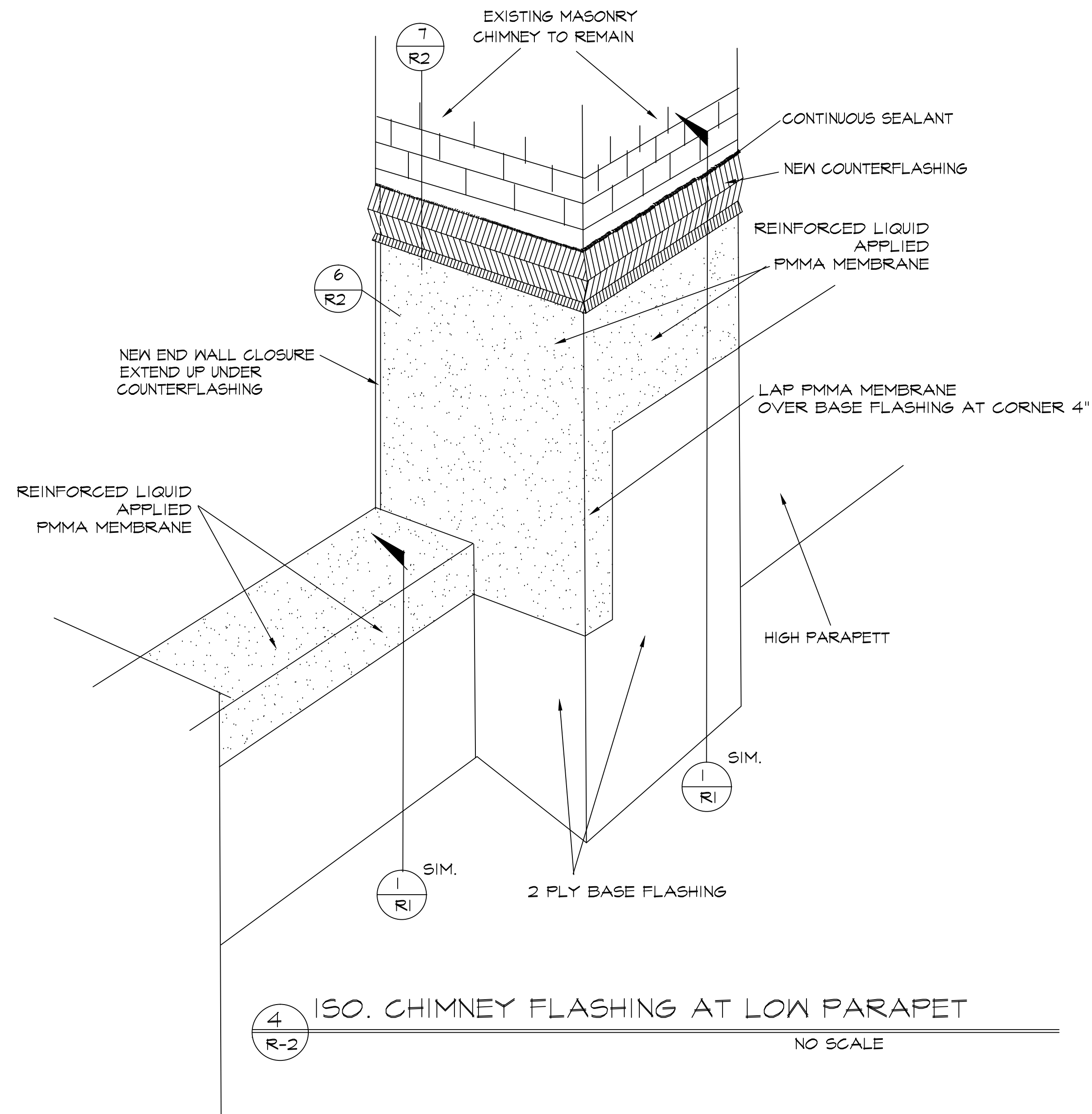
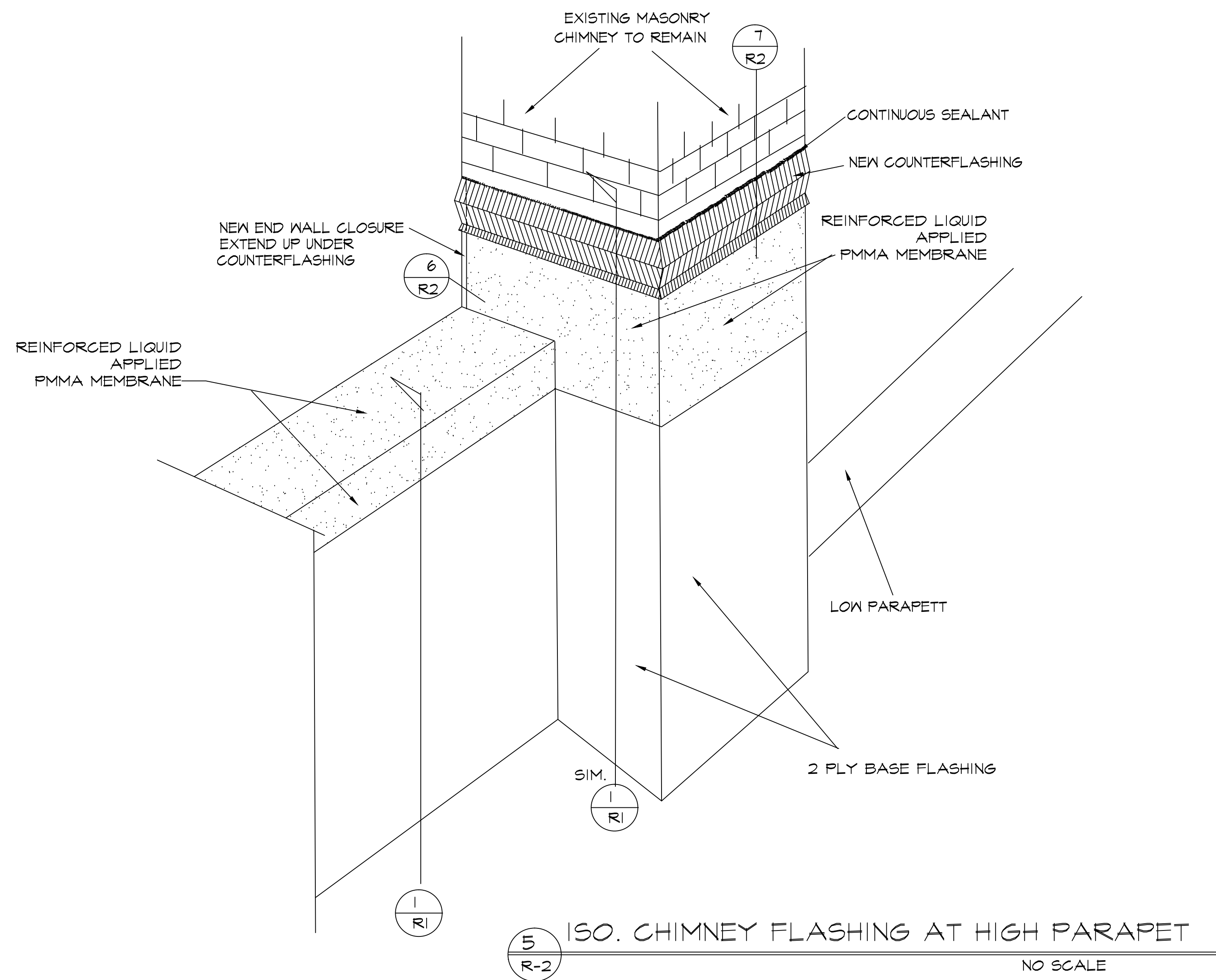
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ROOFING,  
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REPAIRS  
**GALLERY 53**

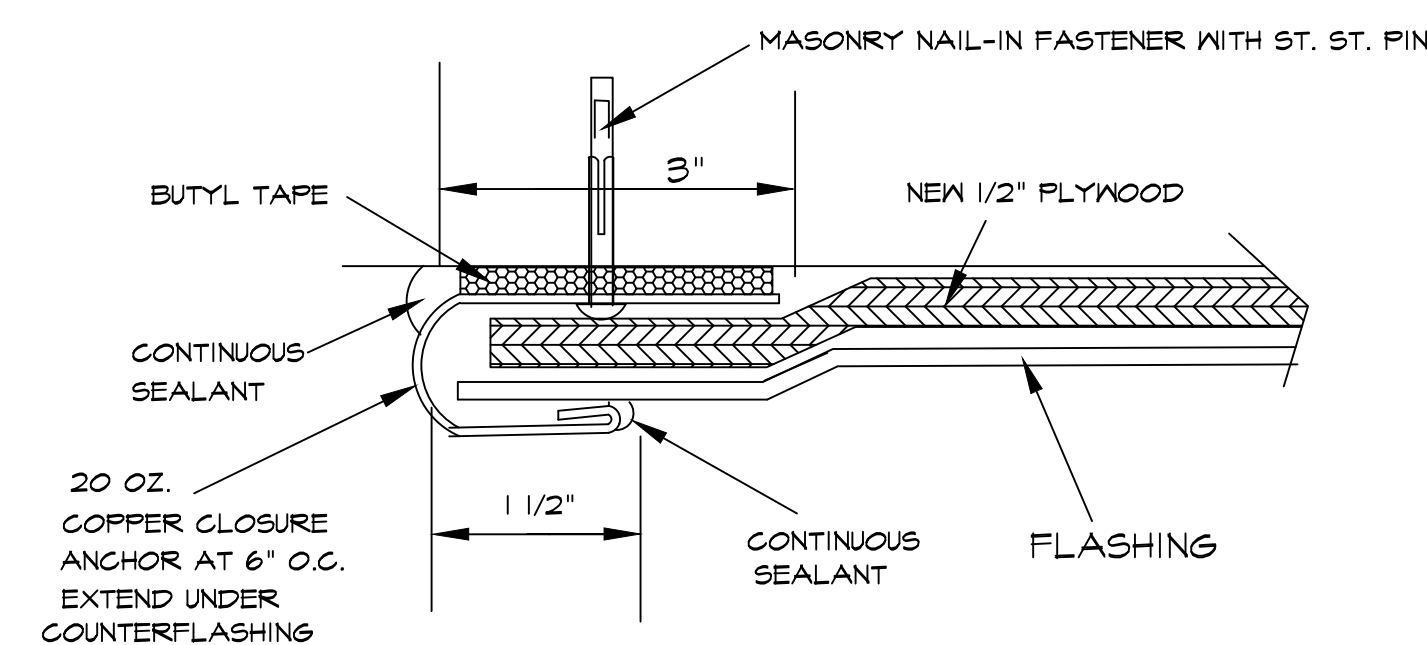
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CADD NO:  
FILE NO:

SCALE: AS NOTED  
DATE: 9-30-2022  
DRAWING NO: RI



NOTES: 1. CUT NEW REGLET TO SIZE SHOWN INTO EXISTING MASONRY  
2. CLEAN ALL DEBRIS FROM REGLET



NOTE: CLOSURE FLANGE FLASHING TO RETURN VERTICALLY UP UNDER COUNTERFLASHING.

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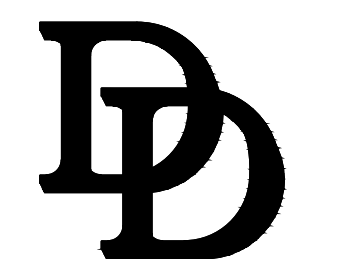
B ROOF CONSULTING INC.

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EAST GRANBY, CT 06026

PHONE 860.453.0279

FAX 860.453.0279



DECARLO & DOLL, INC.

89 Colony Street  
Meriden, CT 06451

Architects Engineers Surveyors  
Planners Construction Managers

Telephone (203) 379-0467

Fax (203) 379-0278

ROOFING,  
MASONRY AND  
CORNICE  
REPAIRS

GALLERY 53

53 Colony Street  
Meriden, CT 06451

JOB NO: 51961.10

CADD NO:

FILE NO:

SCALE:

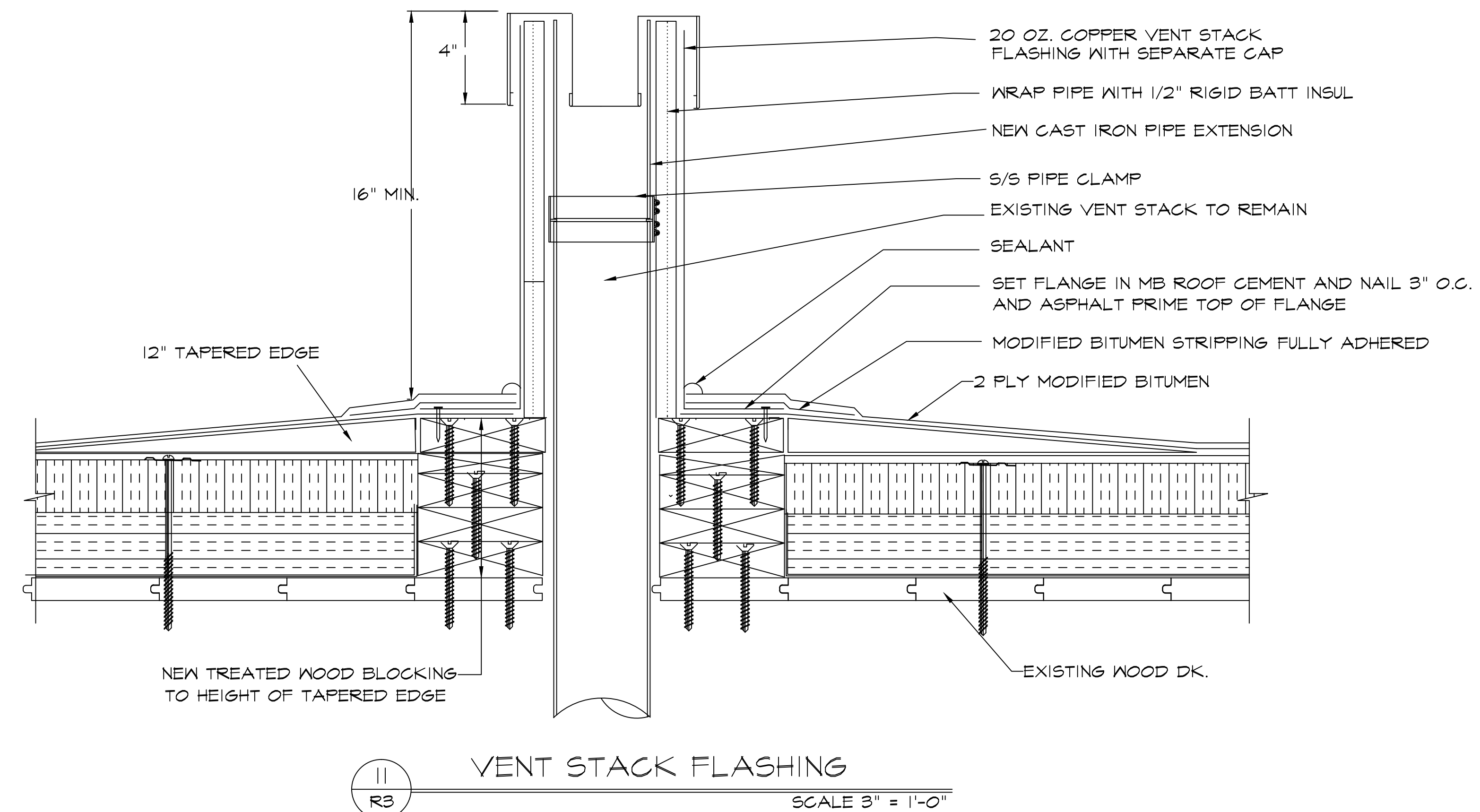
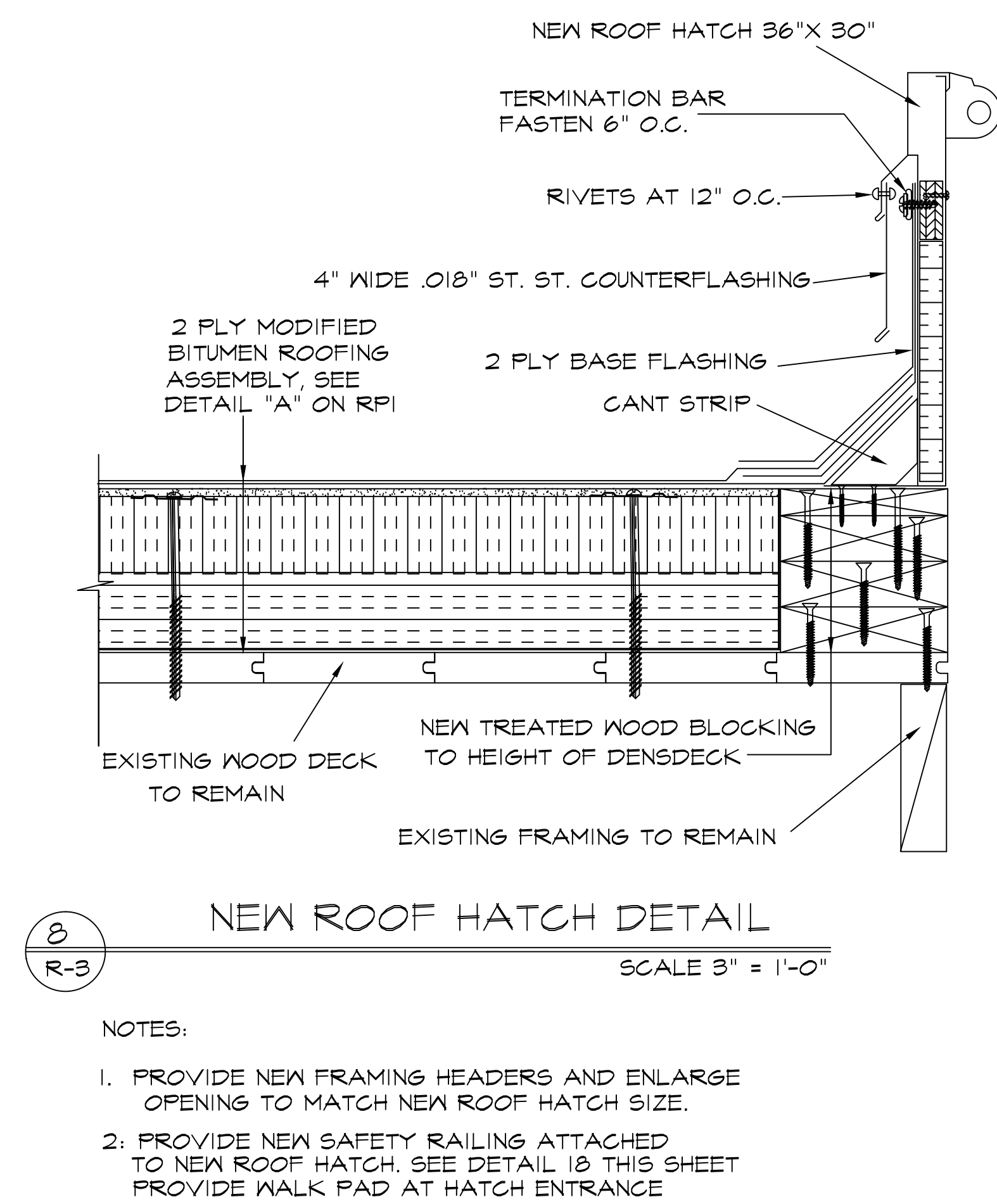
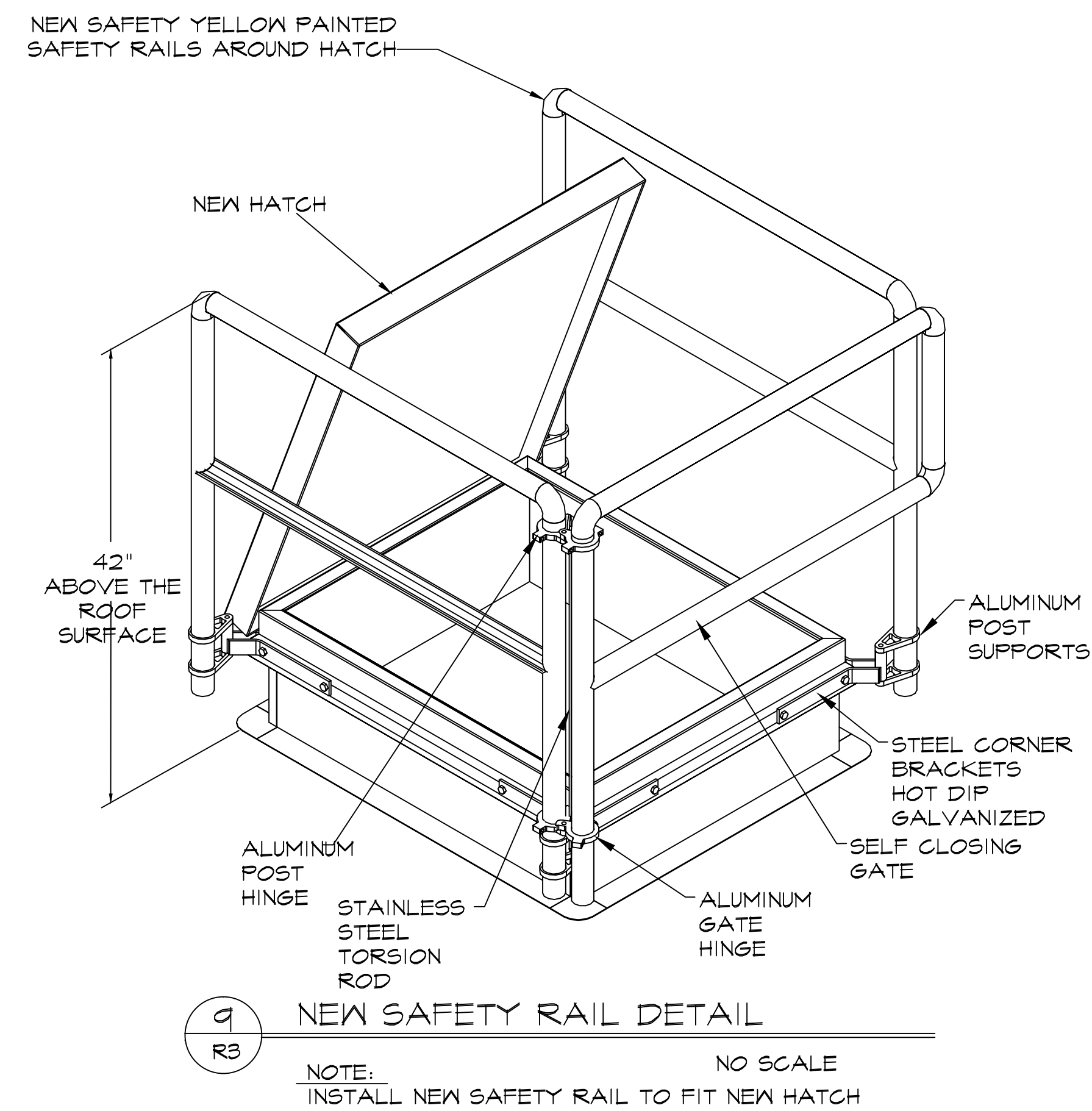
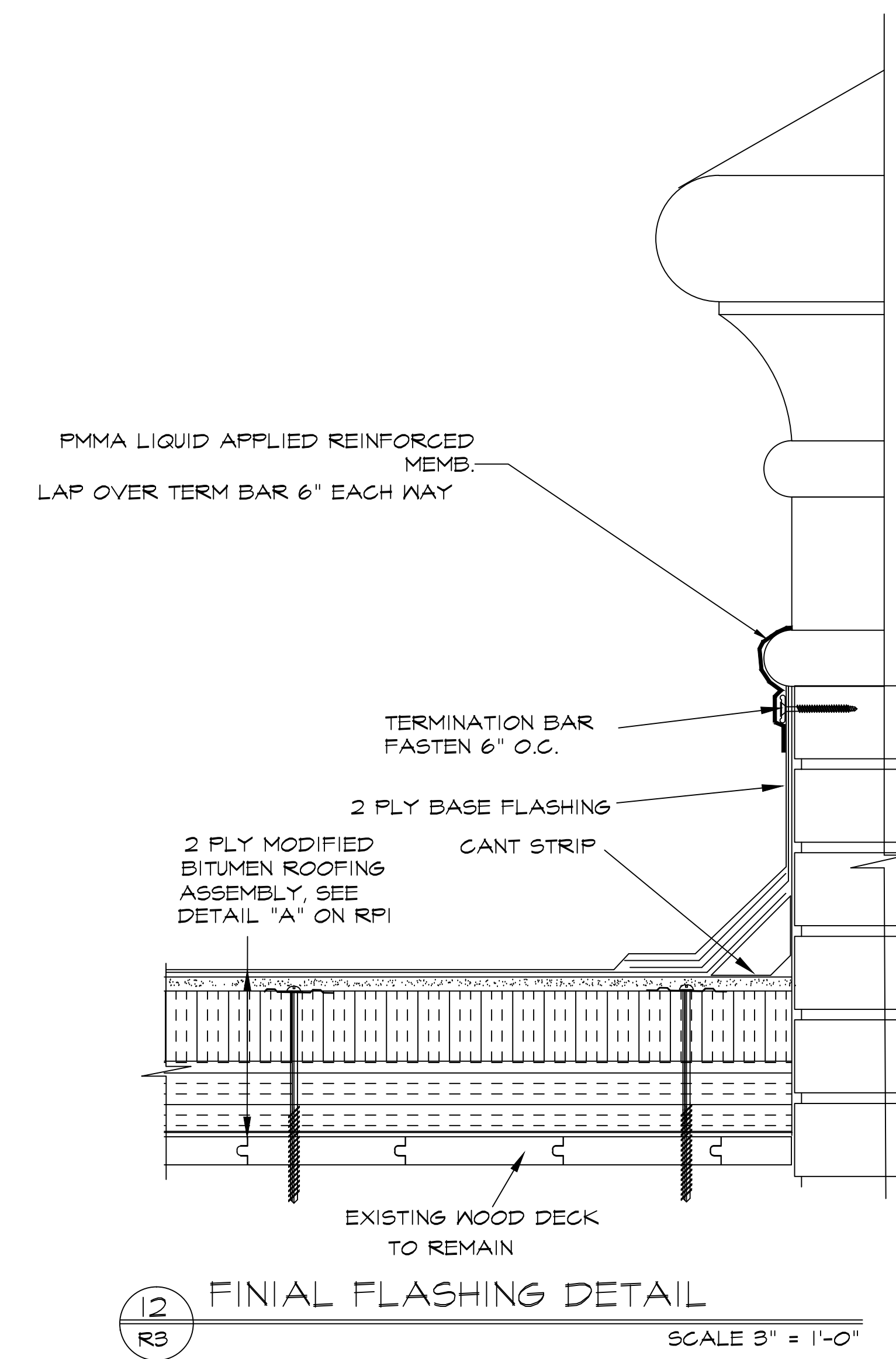
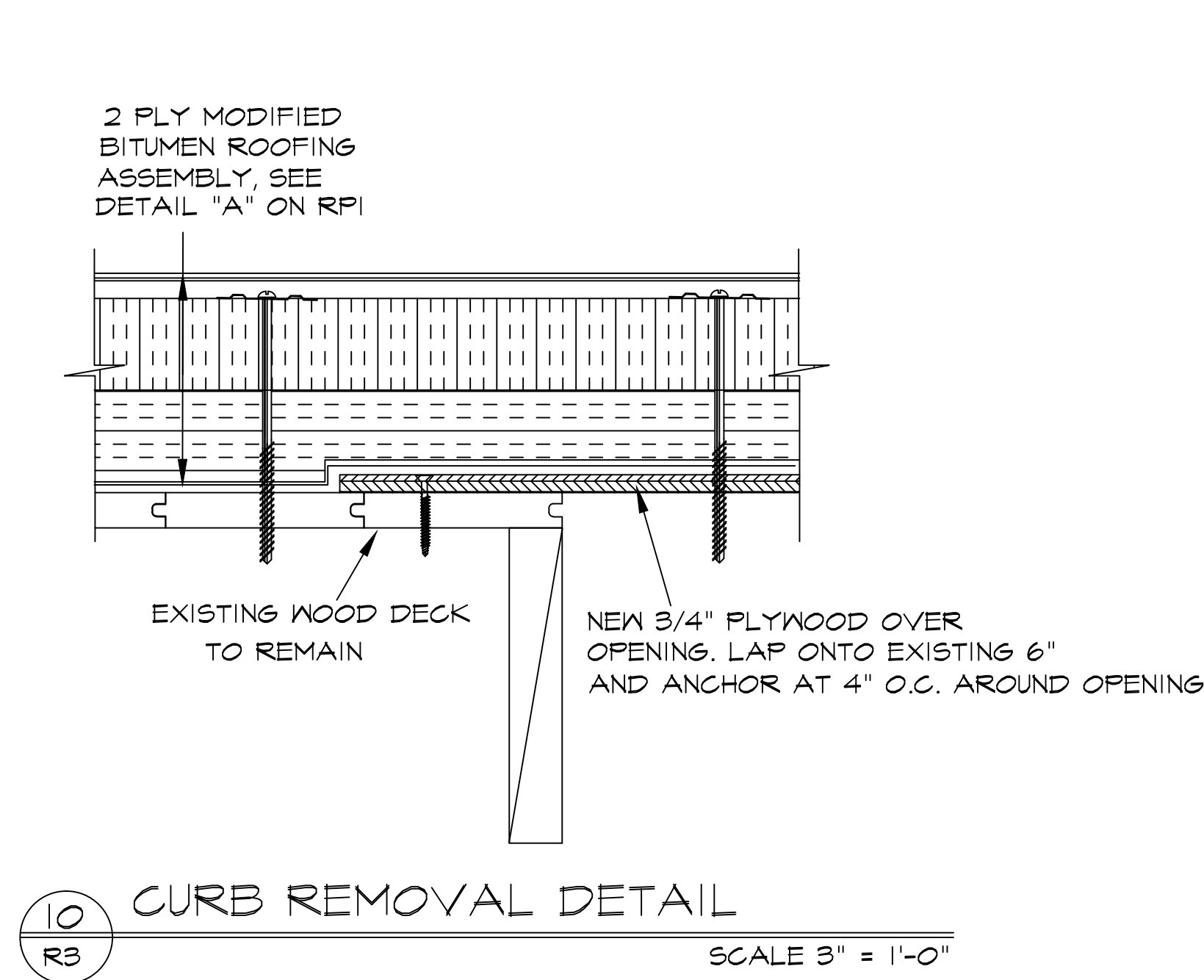
AS NOTED

DATE:

9-30-2022

DRAWING NO:

R2



**BID DOCUMENTS**

**COPYRIGHT** 2022

| NO. | DATE | REVISIONS |
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**DESIGNED BY:**

**DRAWN BY:**

**CHECKED BY:**

**APPROVED BY:**

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**B ROOF CONSULTING INC.**  
121 Hartford Avenue  
EAST GRANBY, CT 06026  
PHONE 860.453.0279  
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**DD**  
**DECARLO & DOLL, INC.**  
89 Colony Street  
Meriden, CT 06451  
Architects Engineers Surveyors  
Planners Construction Managers  
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Fax (203) 379-0278

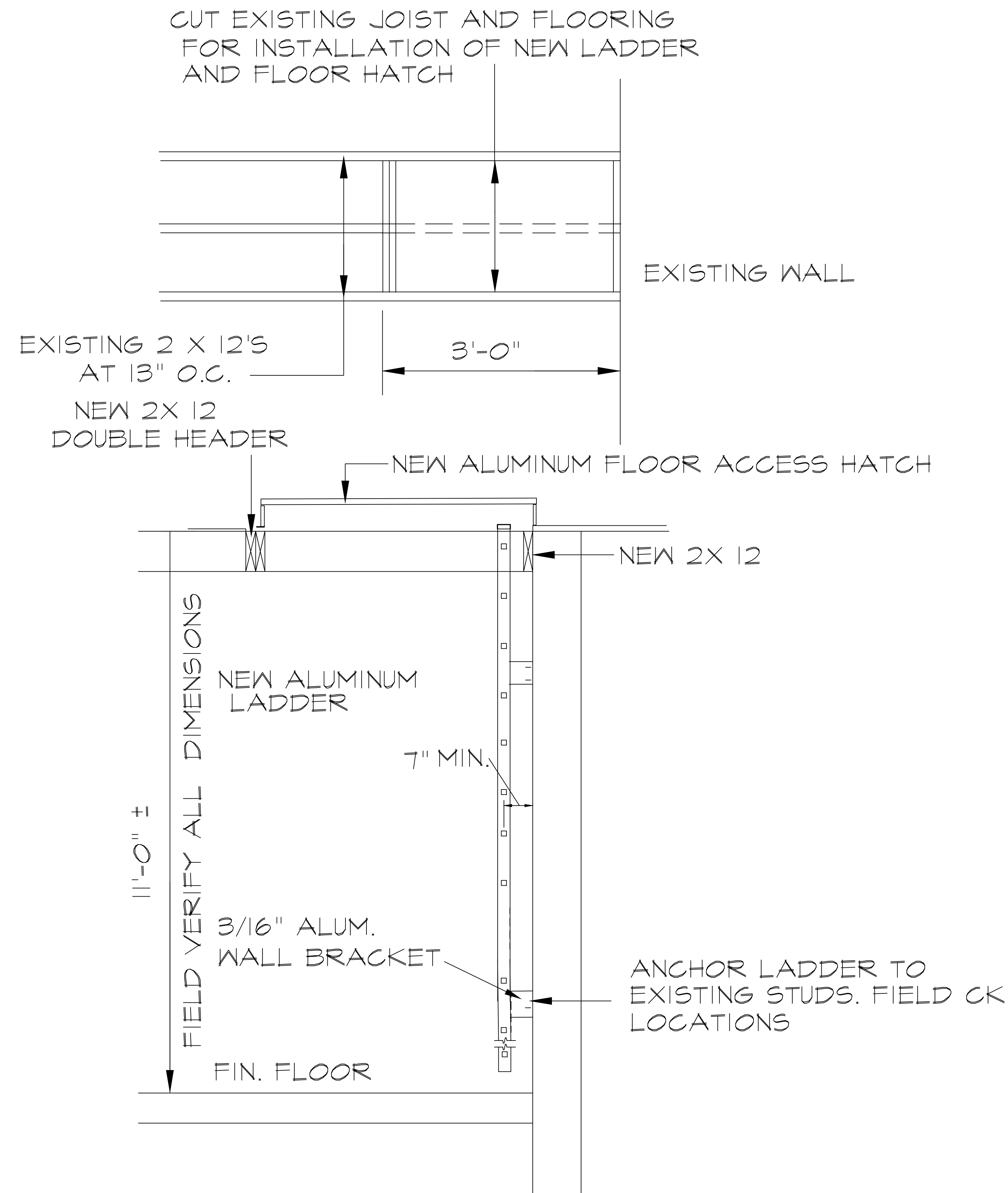
**ROOFING,  
MASONRY AND  
CORNIC  
REPAIRS**

**GALLERY 53**

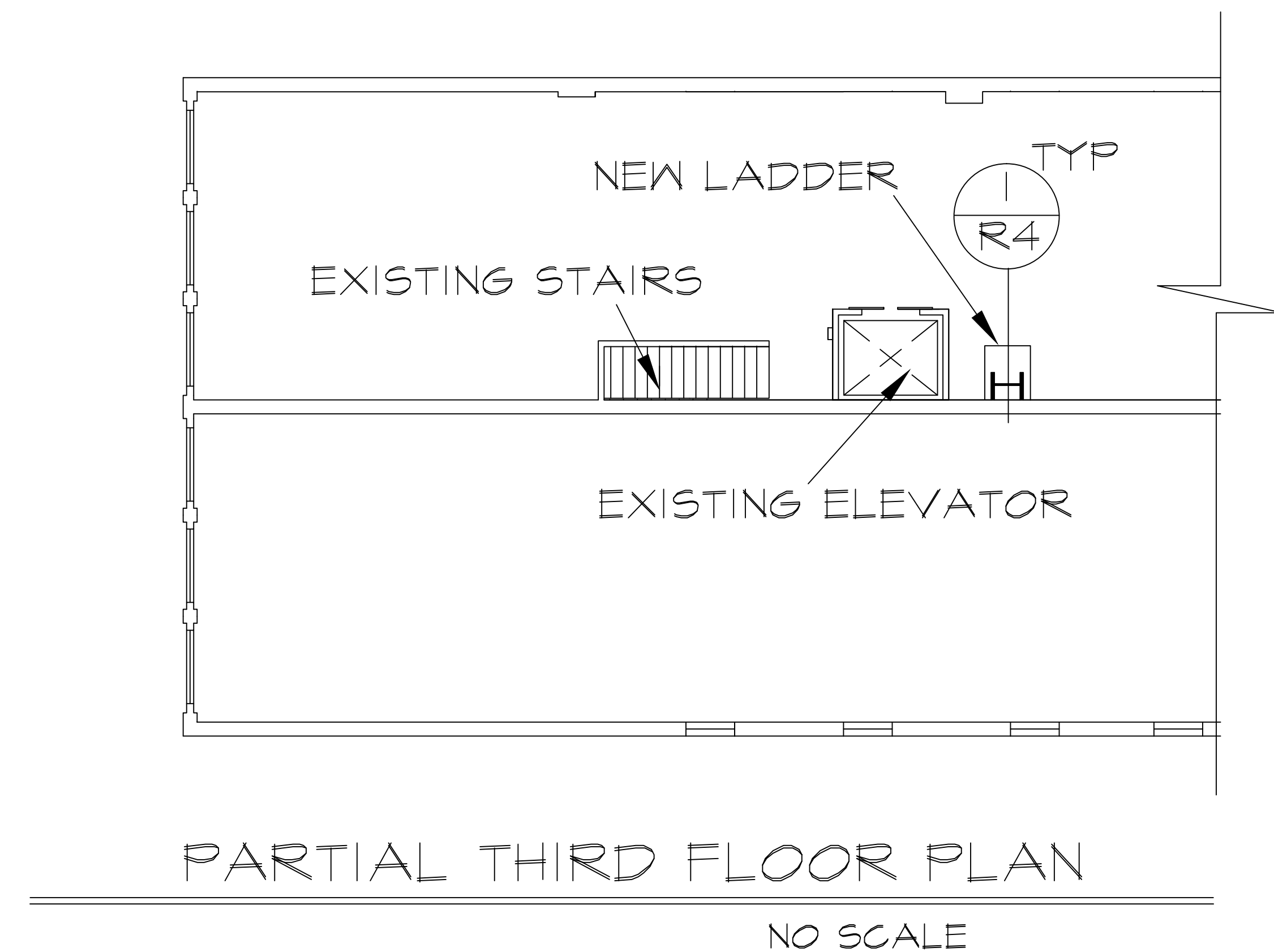
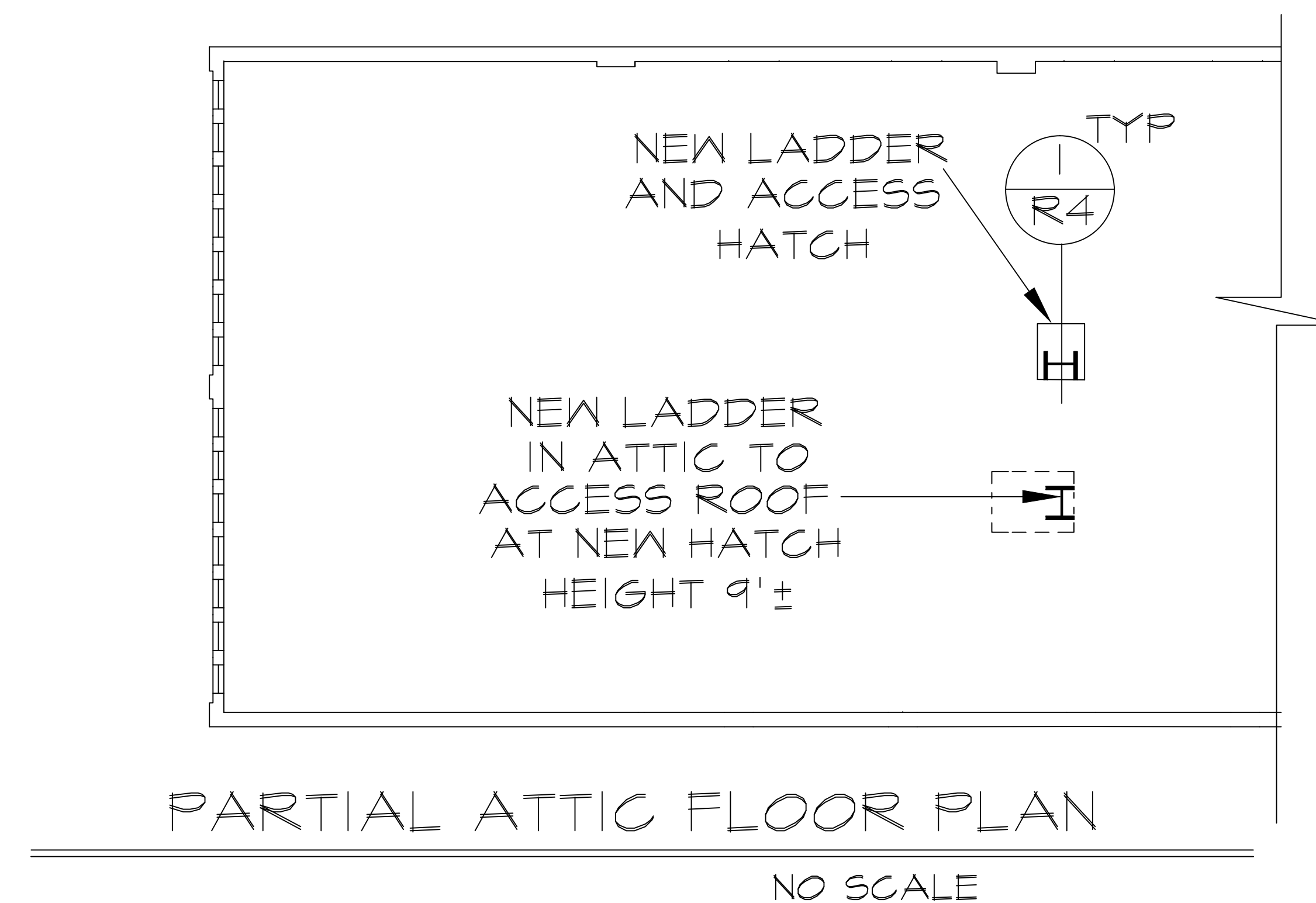
53 Colony Street  
Meriden, CT 06451

**JOB NO:** 51961.10  
**CADD NO:**  
**FILE NO:**

**SCALE:** AS NOTED  
**DATE:** 9-30-2022  
**DRAWING NO:** R3




**LADDER SECTION THIRD FLOOR**  
 NO SCALE

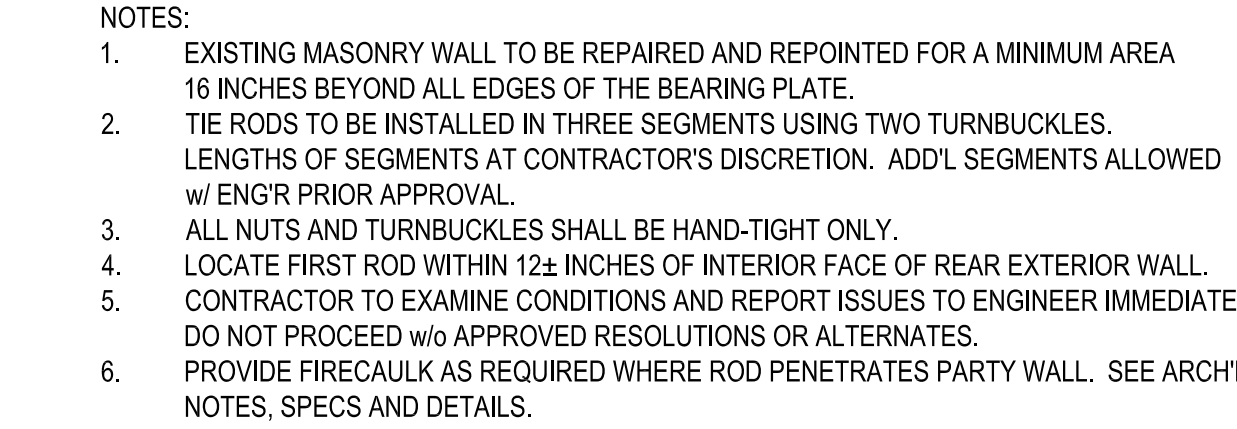


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|---|------|-----------|
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| NO.   | DATE | REVISIONS |
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| <b>B</b> ROOF CONSULTING INC.<br><b>P</b> 121 Hartford Avenue<br><b>D</b> EAST GRANBY, CT 06026<br><small>PHONE 860.453.0279 FAX 860.453.0988</small>   |      |           |

  
**DECARLO & DOLL, INC.**  
 89 Colony Street  
 Meriden, CT 06451  
Architects Engineers Surveyors  
 Planners Construction Managers  
 Telephone (203) 379-0467  
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**ROOFING,  
 MASONRY AND  
 CORNICE  
 REPAIRS**  
**GALLERY 53**  
 53 Colony Street  
 Meriden, CT 06451

|          |             |
|----------|-------------|
| JOB NO:  | 51961.10    |
| CADD NO: |             |
| FILE NO: |             |
| SCALE:   | DRAWING NO: |
| AS NOTED | R4          |
| DATE:    | 9-30-2022   |



T1 PROPOSED MASONRY TIE ROD DETAIL - REAR WALL EAVE  
S101 NOT TO SCALE

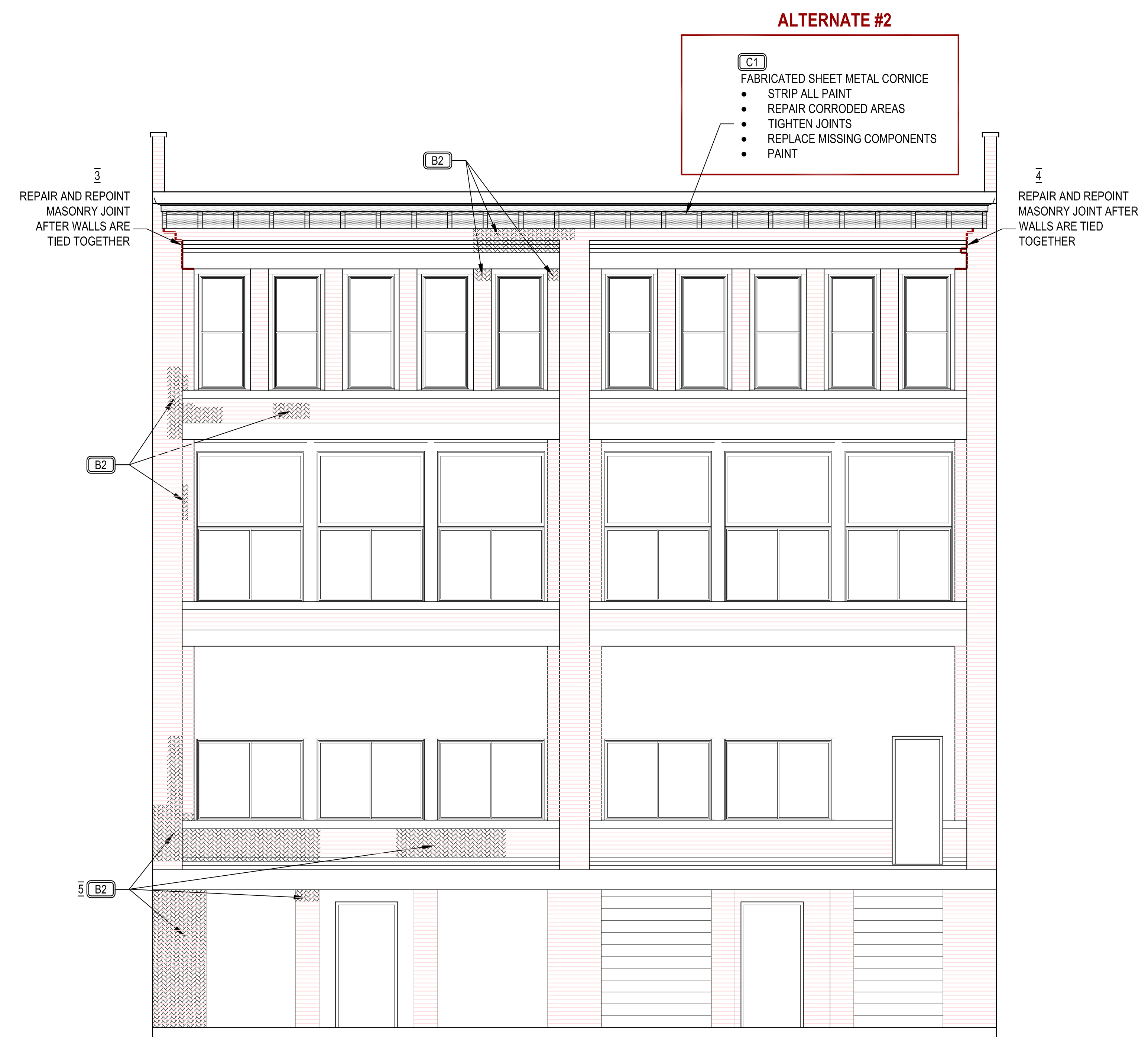
DESIGNED BY: T.O.D.  
DRAWN BY: T.O.D.  
CHECKED BY: W.E.J.  
APPROVED BY: R.W.G.

Architects Engineers Surveyors  
Planners Construction Managers

## GALLERY 53

JOB NO: 51961.10  
CADD NO.: S-101

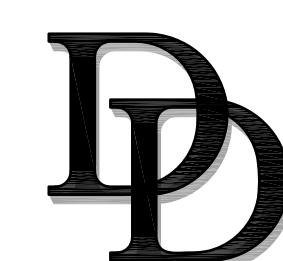
SCALE: AS NOTED  
DRAWING NO.: S101  
DATE: October 12, 2022



| NO. | DATE | REVISIONS |
|-----|------|-----------|
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## ROOFING, MASONRY AND CORNICE REPAIRS

GALLERY 53

53 Colony Street  
Meriden, CT 06451

JOB NO: 51961.10  
CADD NO.:  
FILE NO.:

MASONRY AND  
CORNICE REPAIRS  
EAST & WEST ELEV.

SCALE:  $\frac{1}{4}" = 1'-0"$  DRAWING NO.: A201  
DATE: October 12, 2022

A201

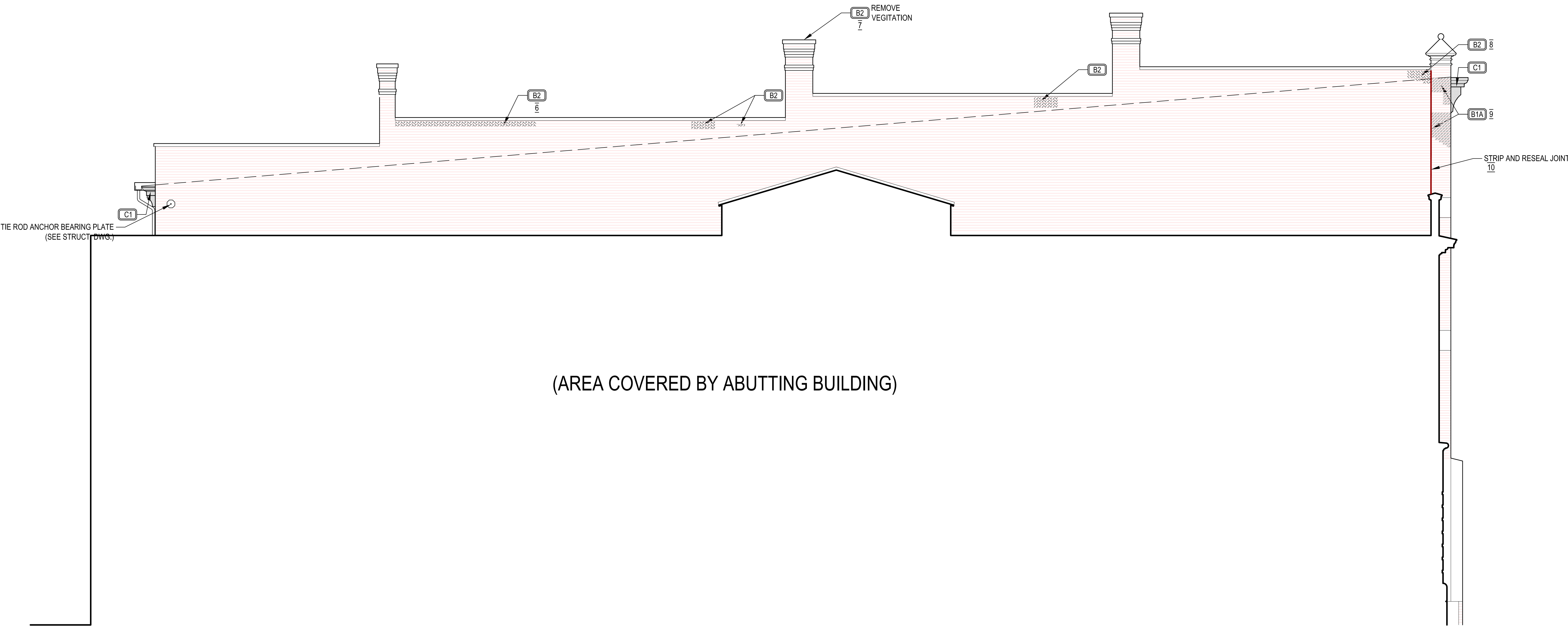
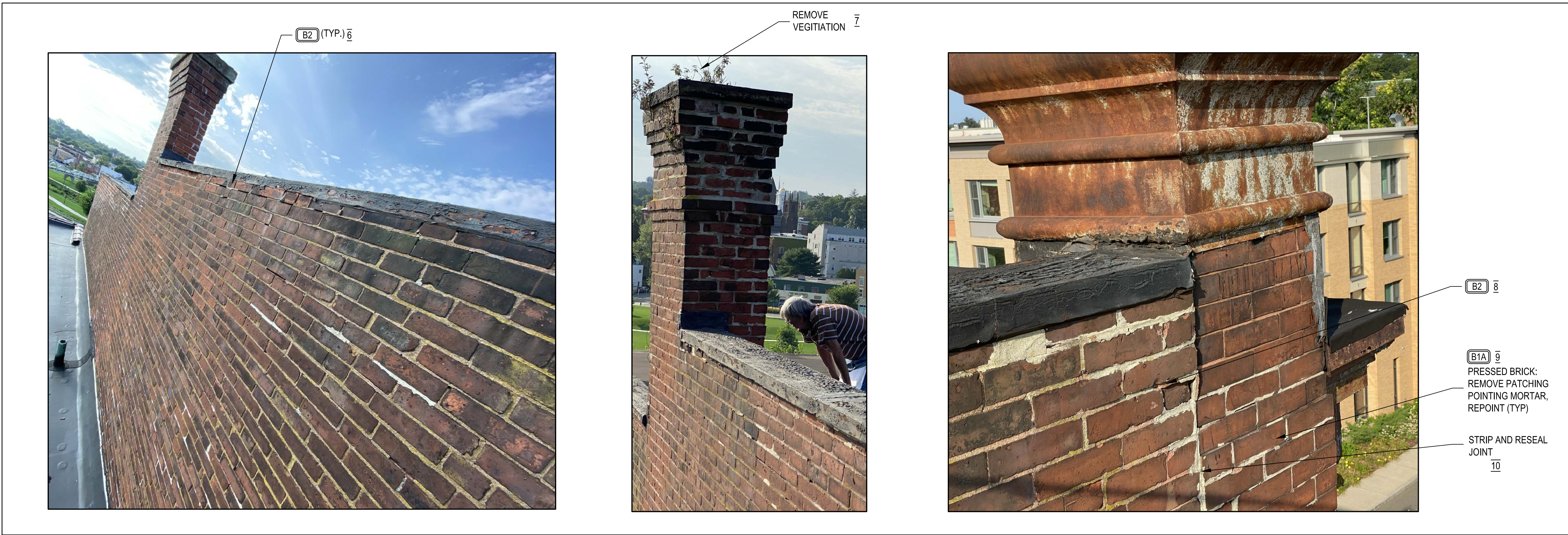
DESIGNED BY:

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11 (B1B)

12 (B1A)

13 (B1A)

14 STRIP AND RESEAL JOINT



15 REBUILD CHIMNEY w/ SALVAGED BRICKS TO MATCH THAT ON NORTH WALL. SUPPLEMENT BRICKS AS REQ.



15 REBUILD CHIMNEY ABOVE PARAPET LEVEL OF FLUE LINER. INCLUDE NEW FLUE LINER ABOVE EXIST. TO TOP OF CHIMNEY AND CAP CHIMNEY WITH BIRD RESISTANT CHIMNEY CAP.

